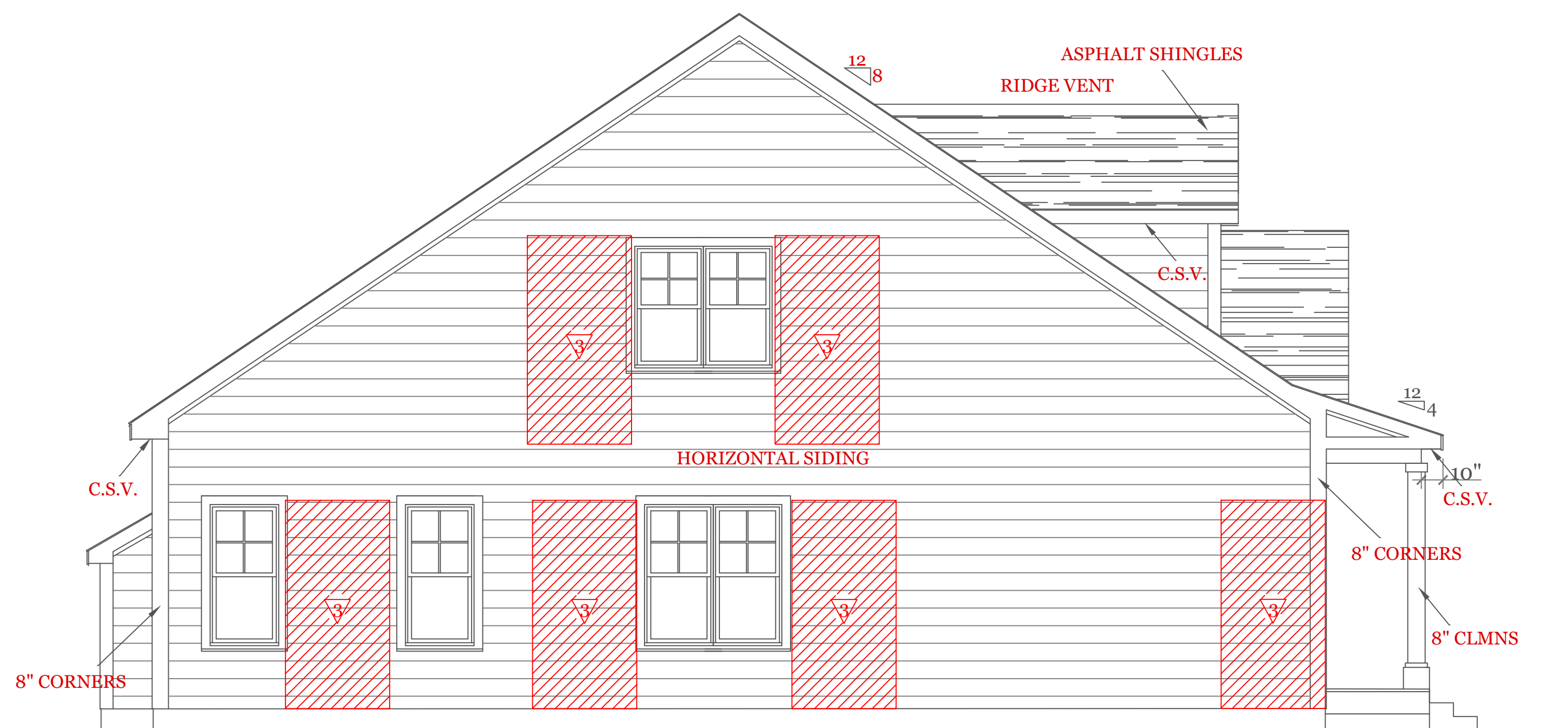


FRONT ELEVATION (1799 s.f.)

WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING PANELS INSTALLED VERTICALLY W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS



LEFT SIDE ELEVATION

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTES 780 CMR 9TH EDITION

- For SI: 1 foot = 304.8 mm.
- a. R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.
- j. For impact rated fenestration complying with Section R301.21.2 of the *International Residential Code* or Section 1608.1.2 of the *International Building Code*, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2.(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	\$5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	\$5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)

NOTES:

- GENERAL NOTES:
- These plans are drawn as required for construction by an experienced licensed general contractor.
 - The General contractor shall fully comply with the 9TH Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
 - Written dimensions shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings. Any defects in the construction documents shall be brought to the attention of this office before proceeding with work. Reasonable time not allowed this office to correct defects shall place the burden of cost and liability from such defects upon the contractor.

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UNIT 'A' - DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

FRONT & LEFT
 ELEVATIONS
 DESIGN CRITERIA

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

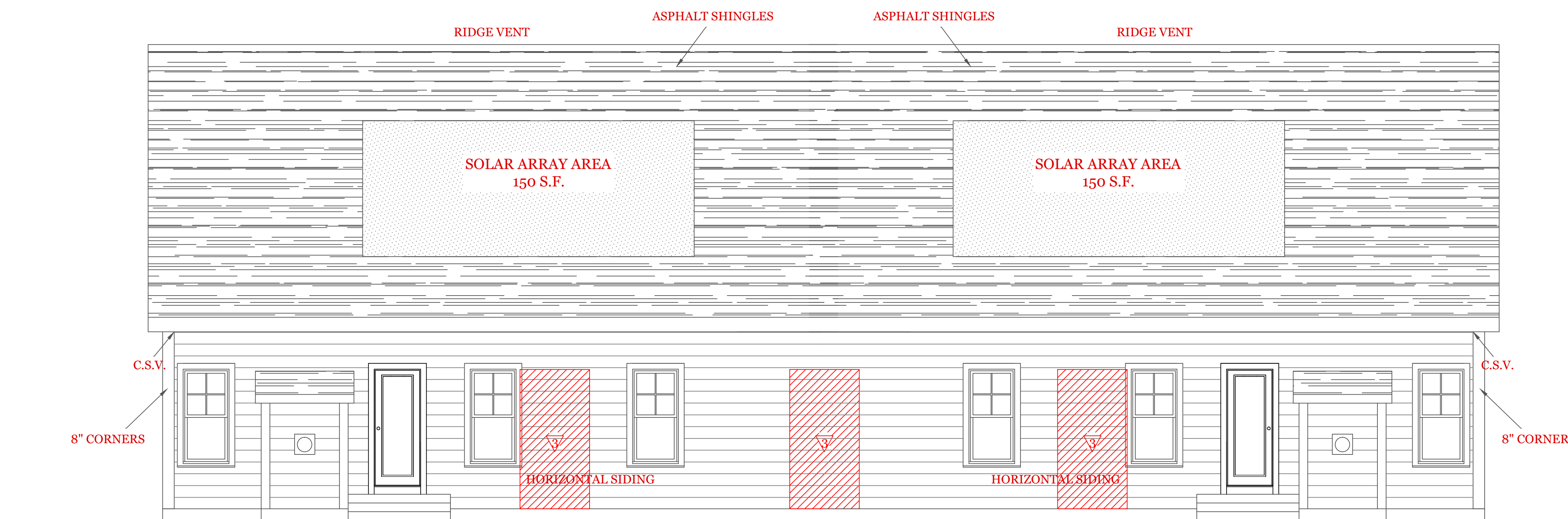
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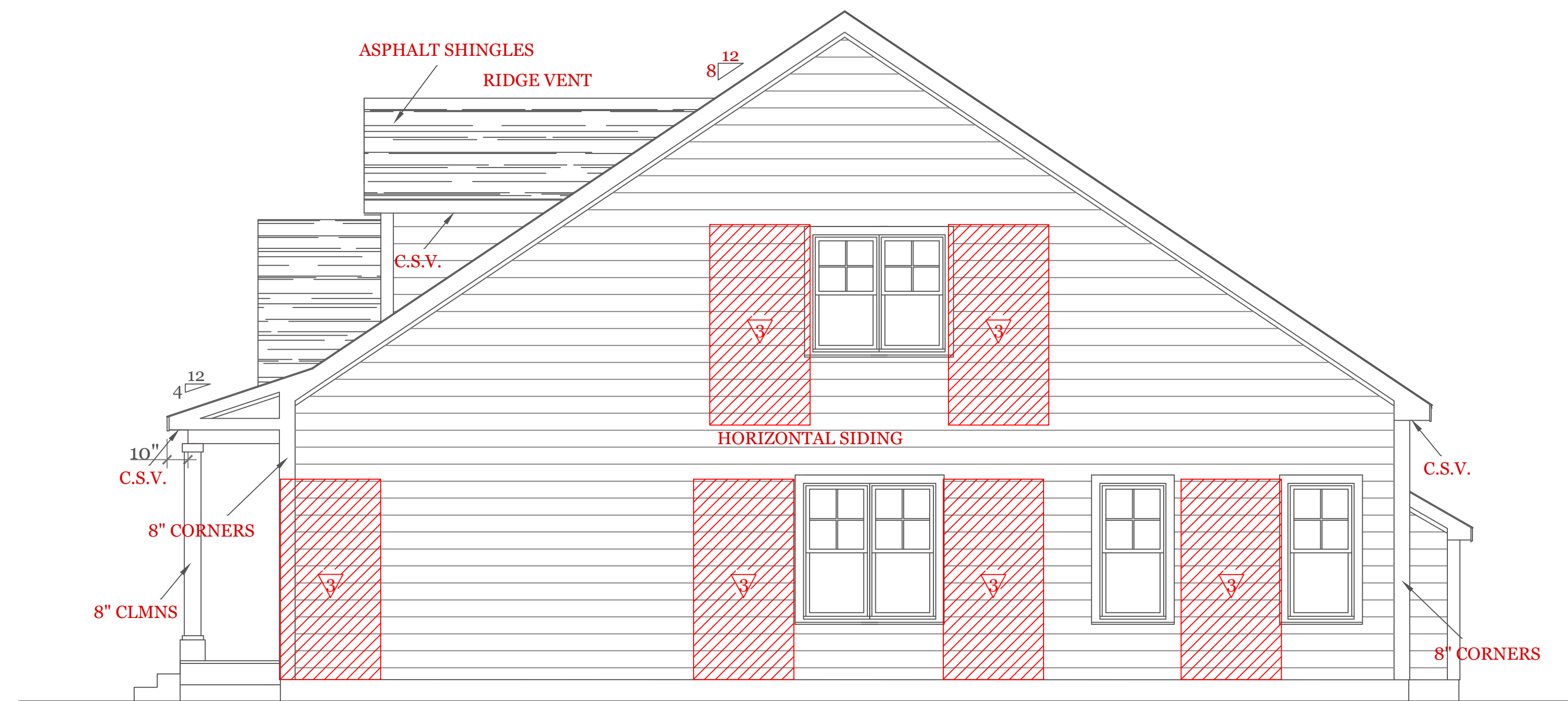
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Sheet 1 OF 8

1



REAR ELEVATION

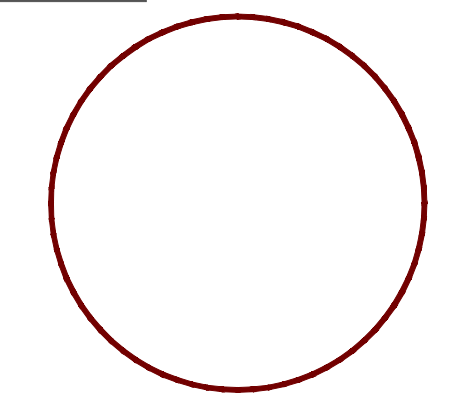


RIGHT SIDE ELEVATION

NOTES:

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UNIT 'A' - DUPLEX
 HIGGINS FARM AT
 SALLISBURY HILL

REAR & LEFT
 ELEVATIONS

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

SCALE: 1/4"=1'-0"

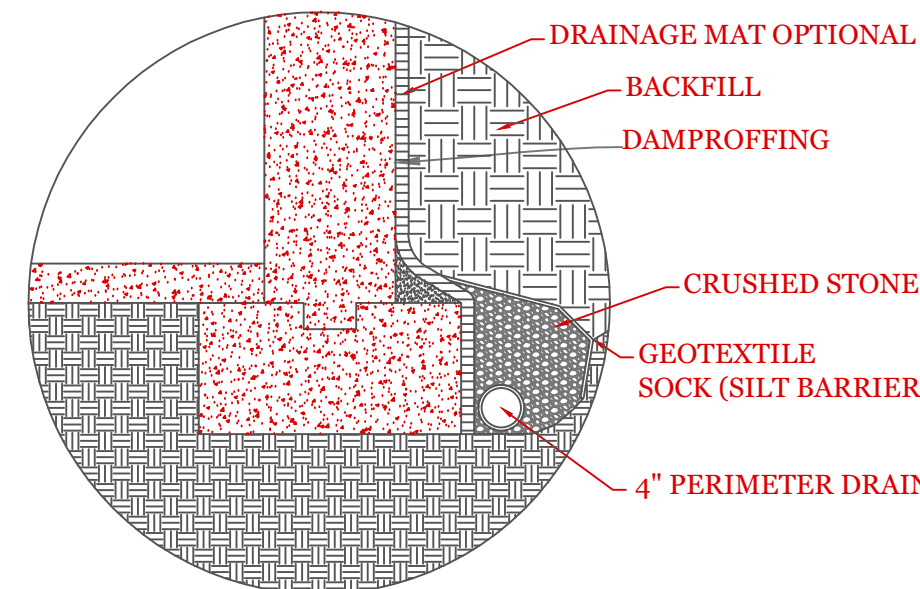
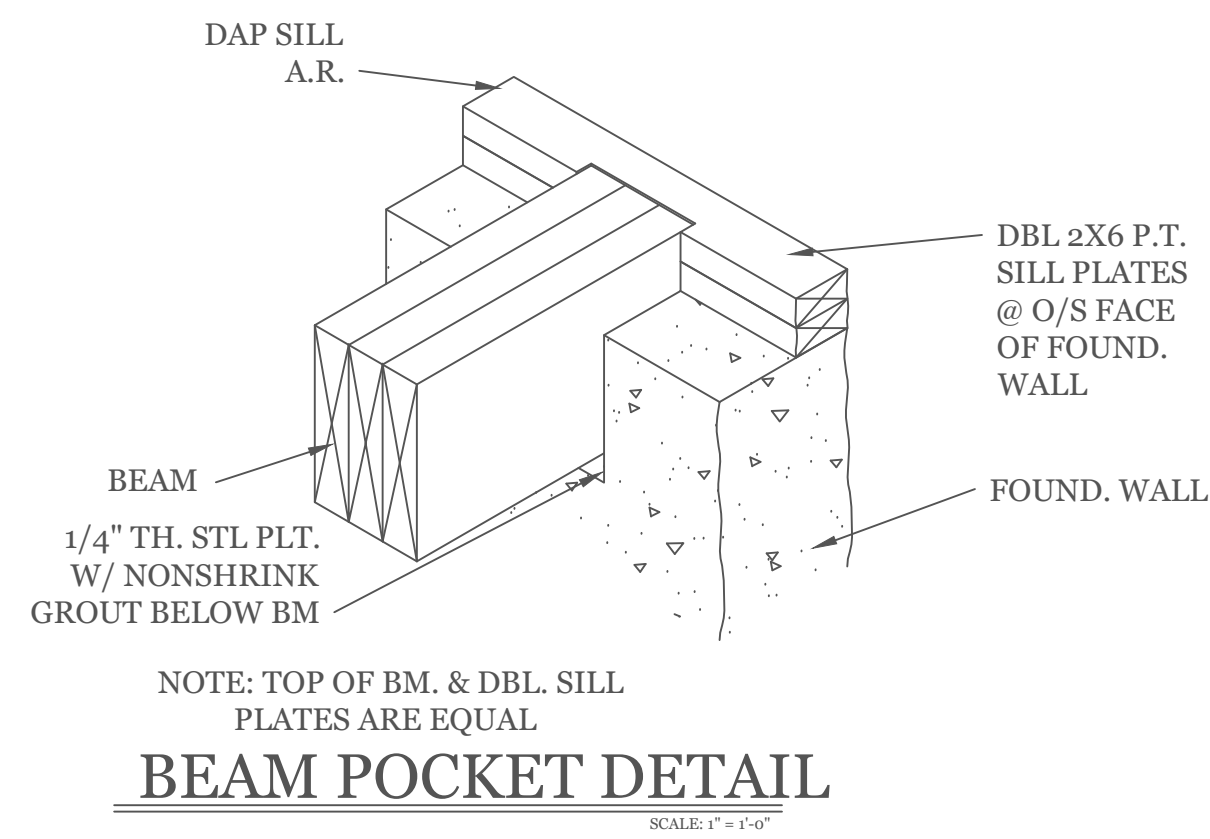
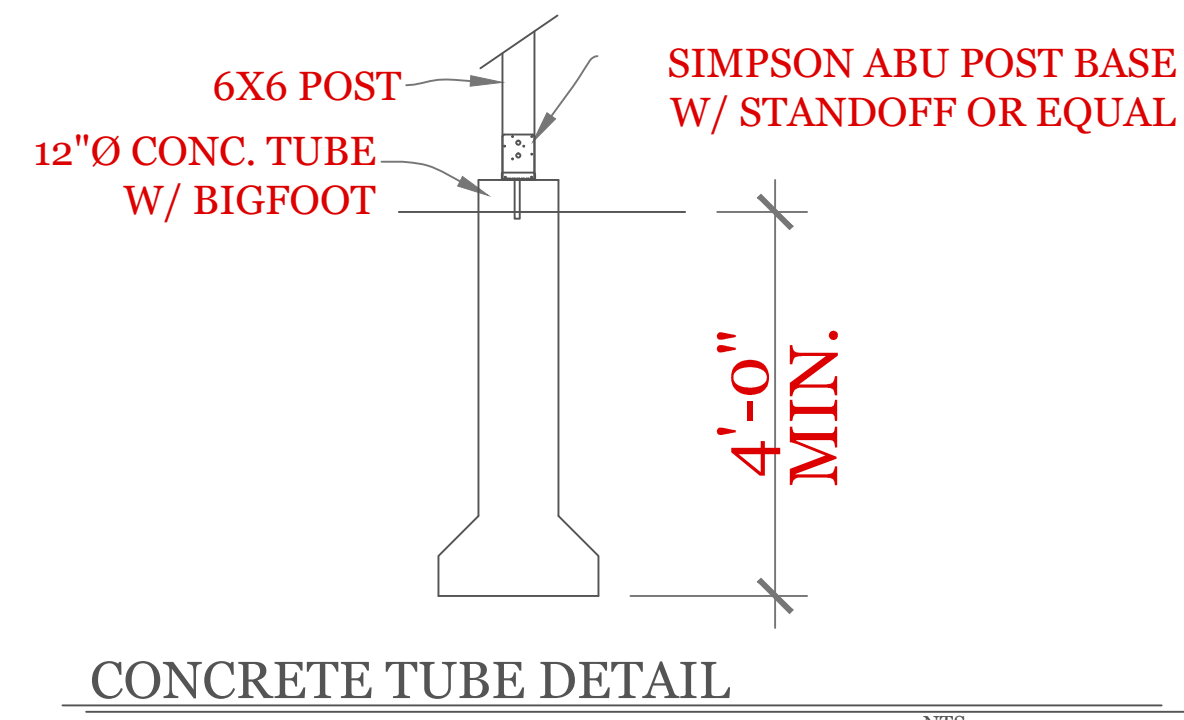
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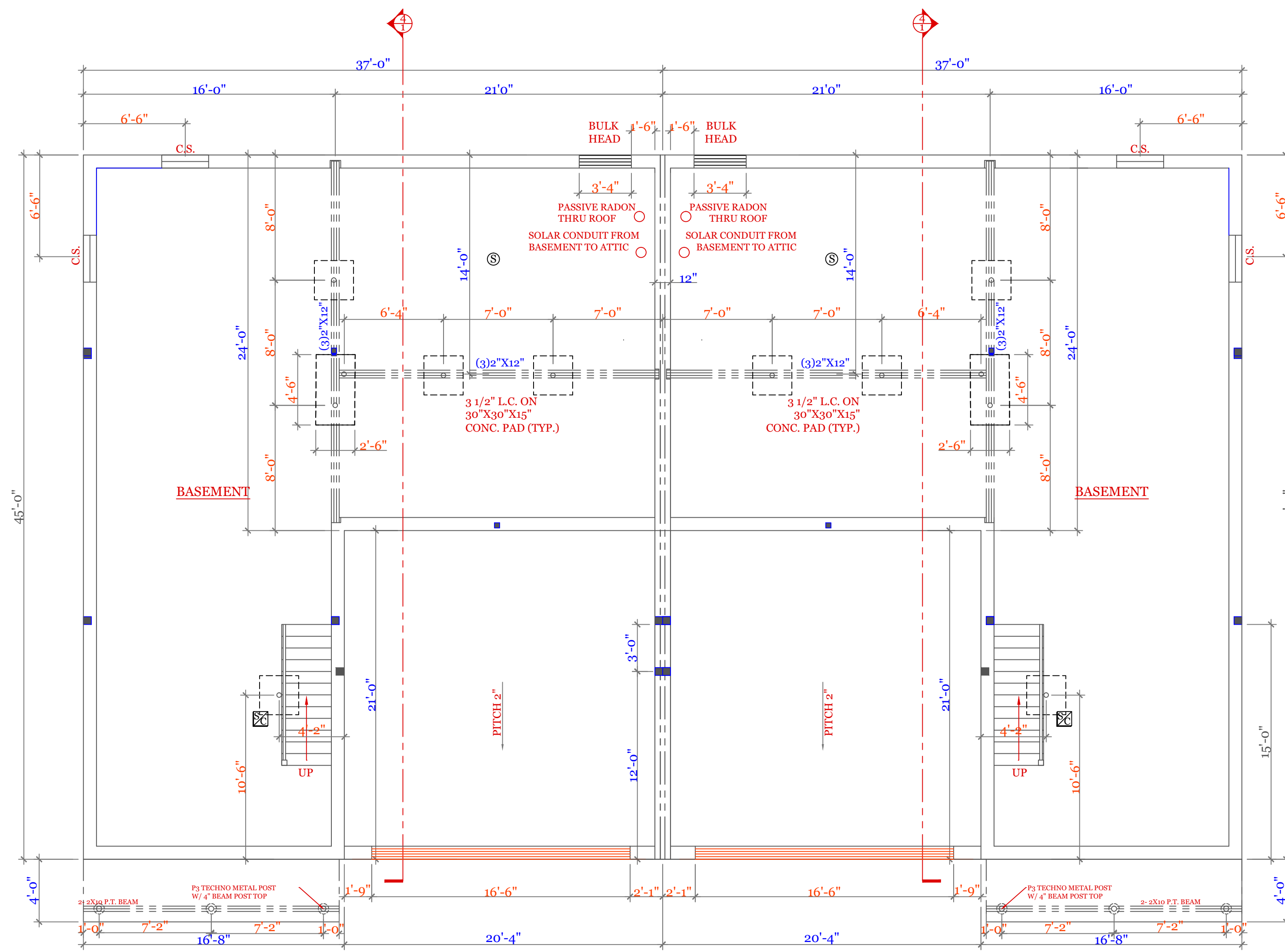
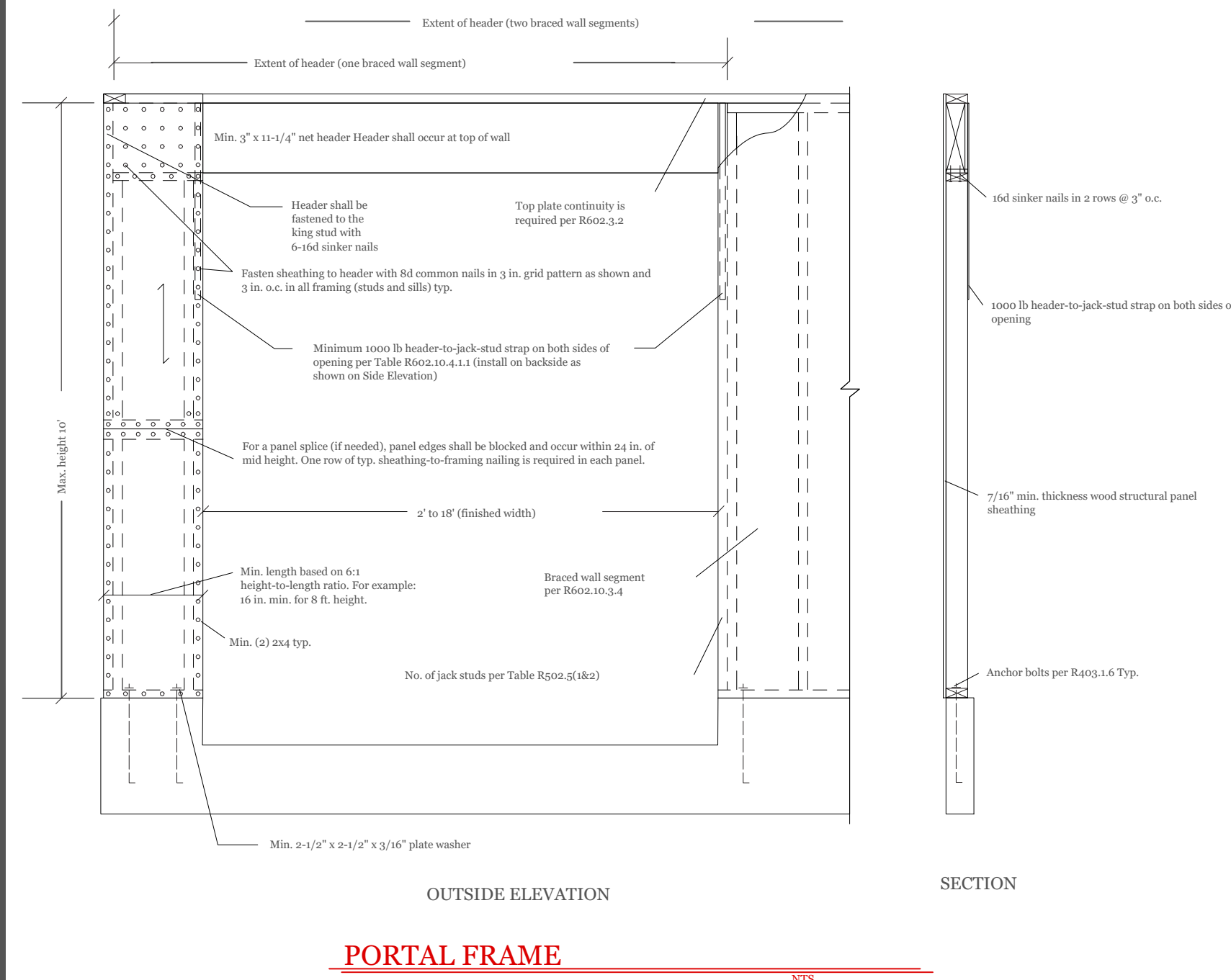
Sheet 2 OF 8

2

TYPICAL FOUNDATION DETAILS



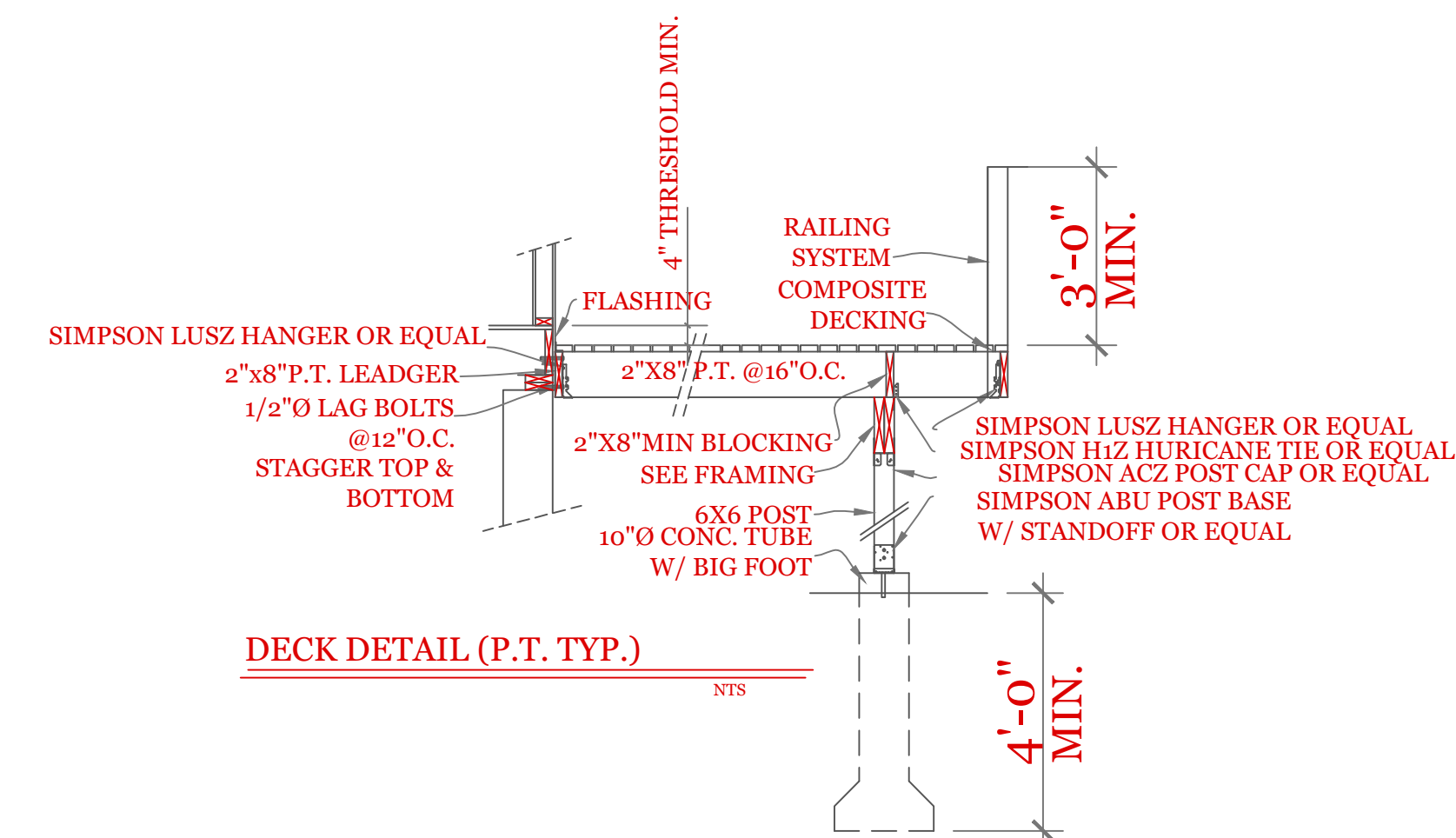
GARAGE FLOOR @ O.H.D.
3/8" = 1'-0"



DEPRESS TO 8" BELOW FLOOR LEVEL.
SEE PORTAL FRAME FOR ANCHOR LOCATION.
FOUNDATION PLAN (1231 s.f. GARAGE 434 s.f.)
■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS

SYMBOL SCHEDULE;

- ☐ VENT
- ☒ SMOKE AND CARBON DETECTOR
- ⊙ SMOKE DETECTOR
- ⊞ HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK



NOTES:

- FOUNDATION NOTES:
- HOUSE FOUNDATION-10"x7'-10" POUR ON 20"x10" CONTINUOUS KEYED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL.
 - GARAGE FOUNDATION- 8"x4'-0" MINIMUM POUR ON 16"x8" CONTINUOUS KEYED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
 - BASEMENT FLOOR-MINIMUM 3" CONCRETE (3,500 PSI)
 - GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TOWARD OVERHEAD GARAGE DOOR
 - ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
 - ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIALBUILDING CODE)

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UNIT 'A' DUPLEX
HIGGINS FARM AT
SALISBURY HILL

FOUNDATION PLAN
PORTAL FRAME
DETAILS

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

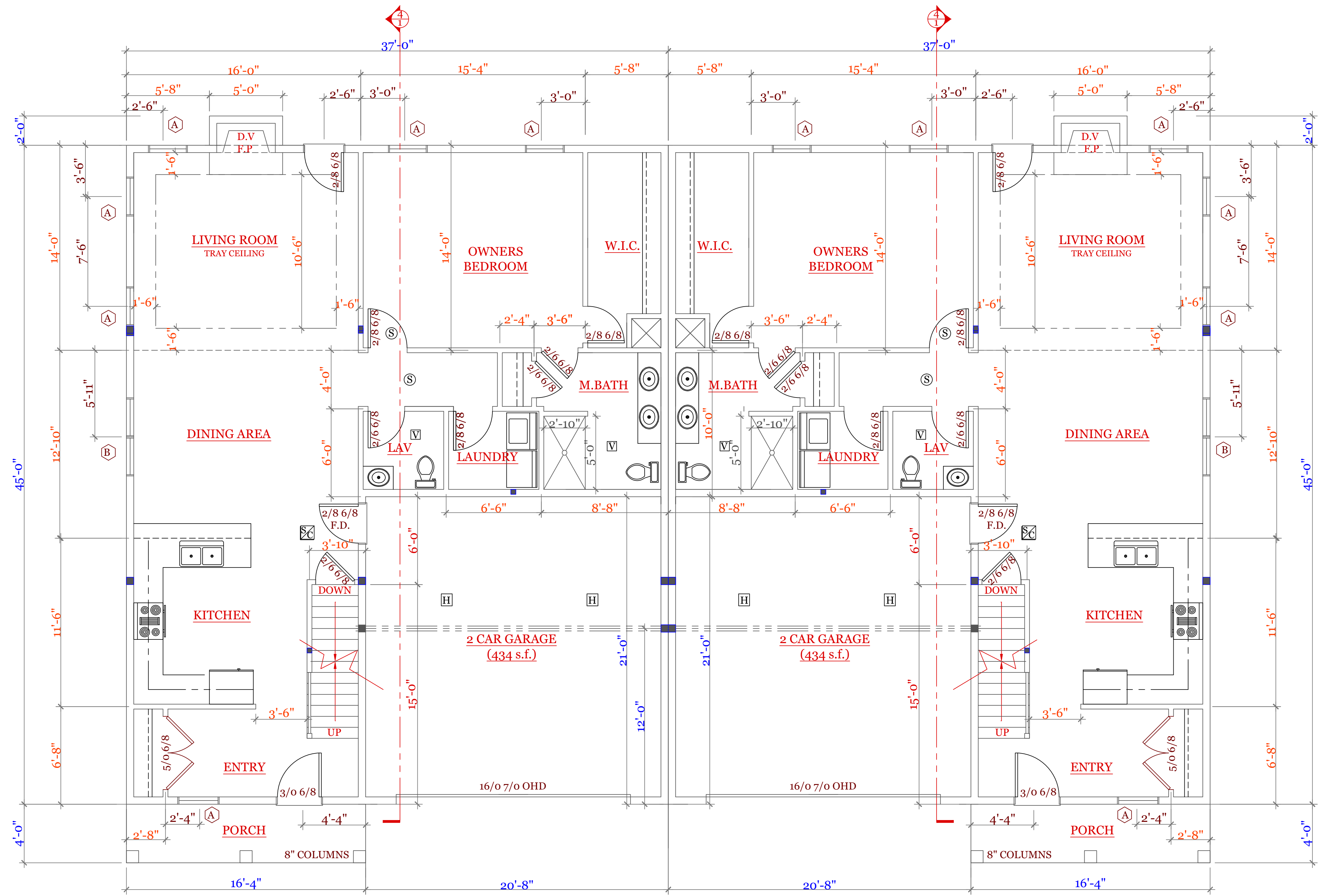
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DRAWN BY: RCS

CHECKED BY: MJB

Sheet 3 OF 8

3



FIRST FLOOR PLAN (1231 s.f. GARAGE 434 s.f.)
 ■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS

WINDOW & EXTERIOR DOOR SCHEDULE: HARVEY			
INDEX	QUA	CATALOG	ROUGH OPENING
A	12	10000-1	2'-8 1/4" X 5'-6 1/4"
B	2	11000-1	5'-4 3/4" X 5'-6 1/4"
C	2	12000-1	5'-4 1/2" X 4'-9 1/4"
D	N/A	N/A	N/A
E	2	A2281	5'-3 1/4" X 2'-0 5/8"
F	1	15000-1	5'-4 1/2" X 6'-10 1/2"
G	1	16000-1	3'-2 1/2" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

- NOTES:**
- SYMBOL SCHEDULE:**
- ☐ VENT
 - ☒ SMOKE AND CARBON DETECTOR
 - ⊙ SMOKE DETECTOR
 - ⊕ HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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UNIT 'A' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

FIRST & SECOND
 FLOOR PLAN
 WINDOW SCHEDULE

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

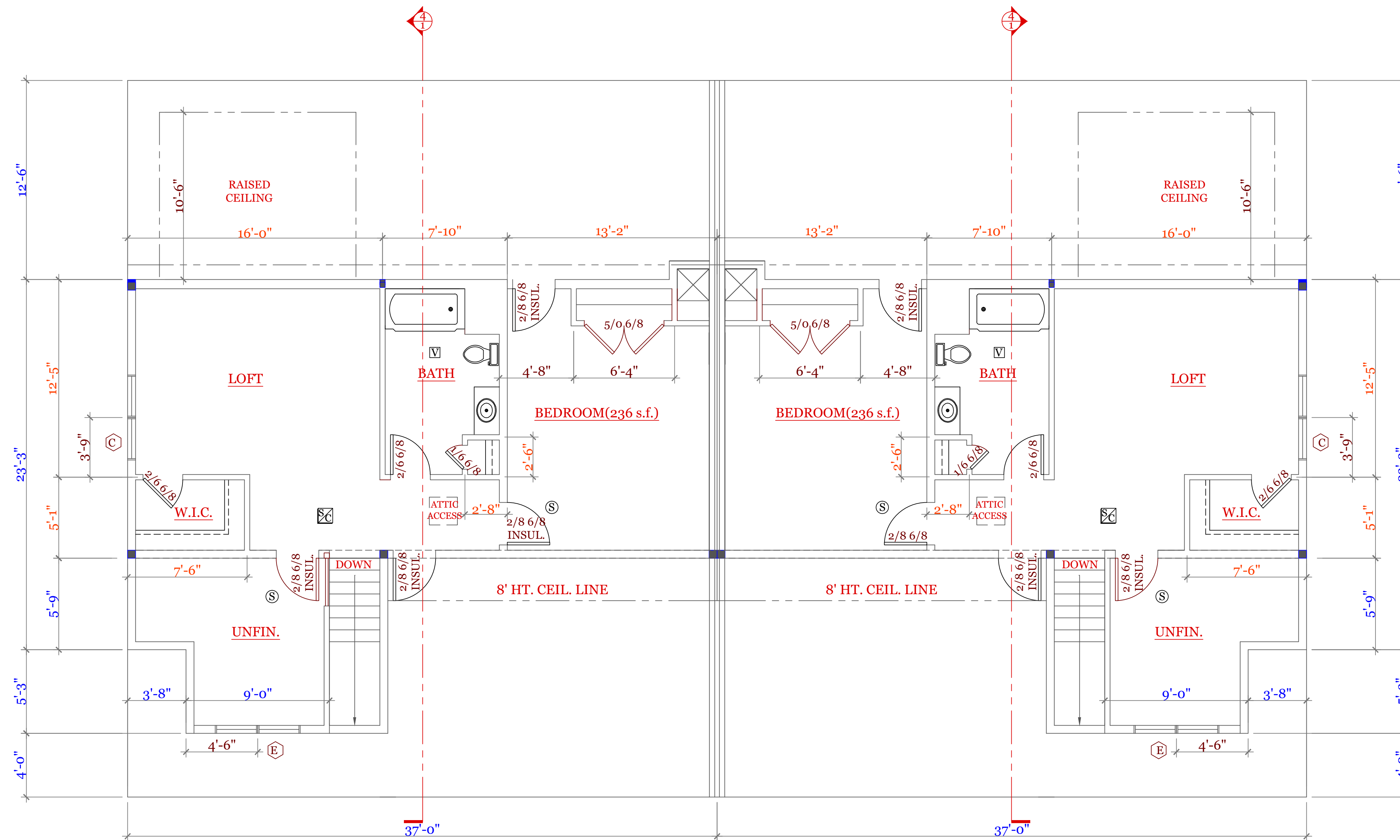
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DRAWN BY: RWS

CHECKED BY: RCS

Sheet 4 OF 8

4



SECOND FLOOR PLAN (568 s.f.) ATTIC (687 s.f.)

■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS

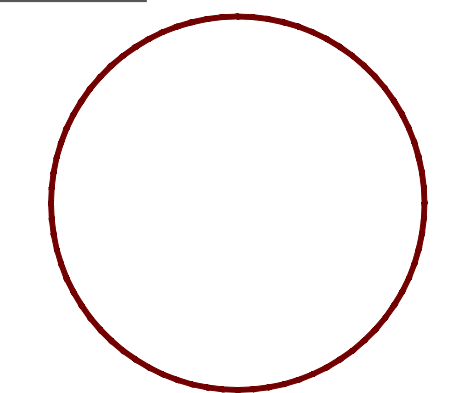
WINDOW & EXTERIOR DOOR SCHEDULE: HARVEY			
INDEX	QUA	CATALOG	ROUGH OPENING
A	12	10000-1	2'-8 1/4" X 5'-6 1/4"
B	2	11000-1	5'-4 3/4" X 5'-6 1/4"
C	2	12000-1	5'-4 1/2" X 4'-9 1/4"
D	N/A	N/A	N/A
E	2	A2281	5'-3 1/4" X 2'-0 5/8"
F	1	15000-1	5'-4 1/2" X 6'-10 1/2"
G	1	16000-1	3'-2 1/2" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

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UNIT 'A' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

SECOND FLOOR PLAN
 WINDOW SCHEDULE

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

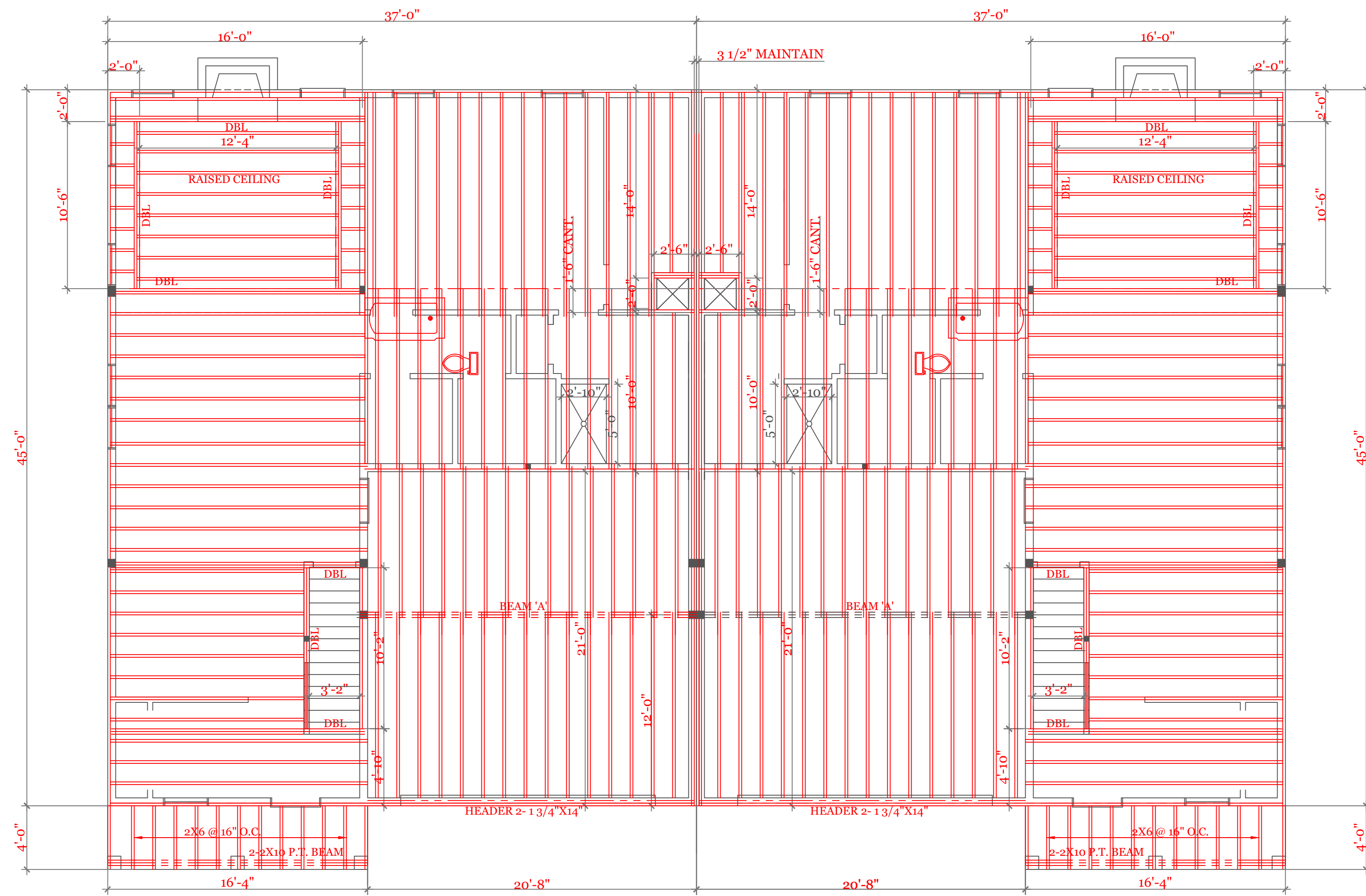
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CHECKED BY: MJB

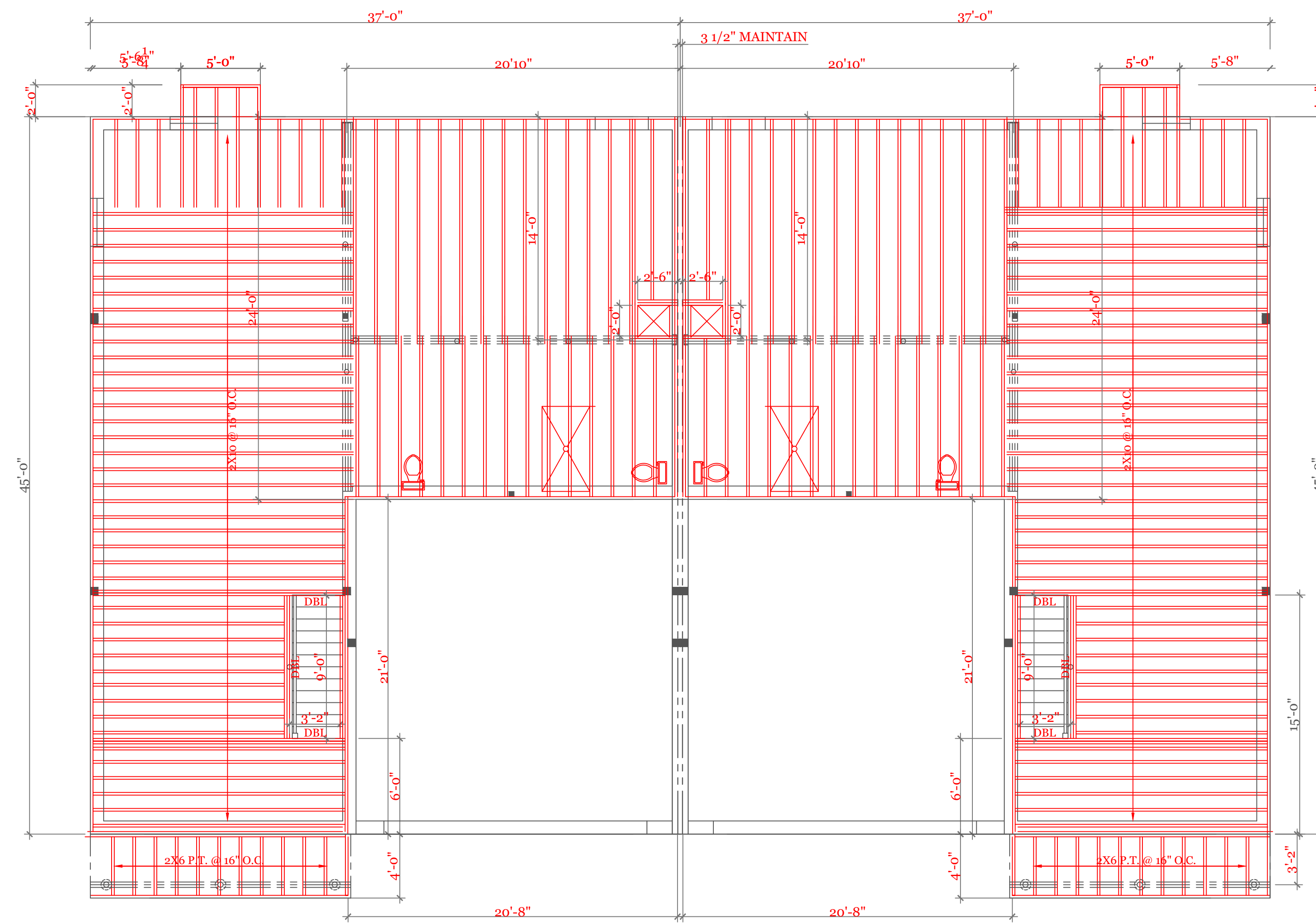
Sheet 5 OF 8

5



SECOND FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)

■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS



FIRST FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)

OPTION 2X12 @ 16" O.C.

■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS

BEAM CALCULATIONS

BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	3 1/2" X 18" LVL	22'-0"	315	420	473	681
B	3 1/2" X 16" LVL	16'-0"	550	660	1296	1320
C	5 1/4" X 18" LVL	21'-0"	800	960	1065	1298

NOTES:

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**UNIT 'A'
 HIGGINS FARM AT
 SALISBURY HILL**

**FIRST & SECOND FLOOR
 FRAMING PLANS
 BEAM SCHEDULE**

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

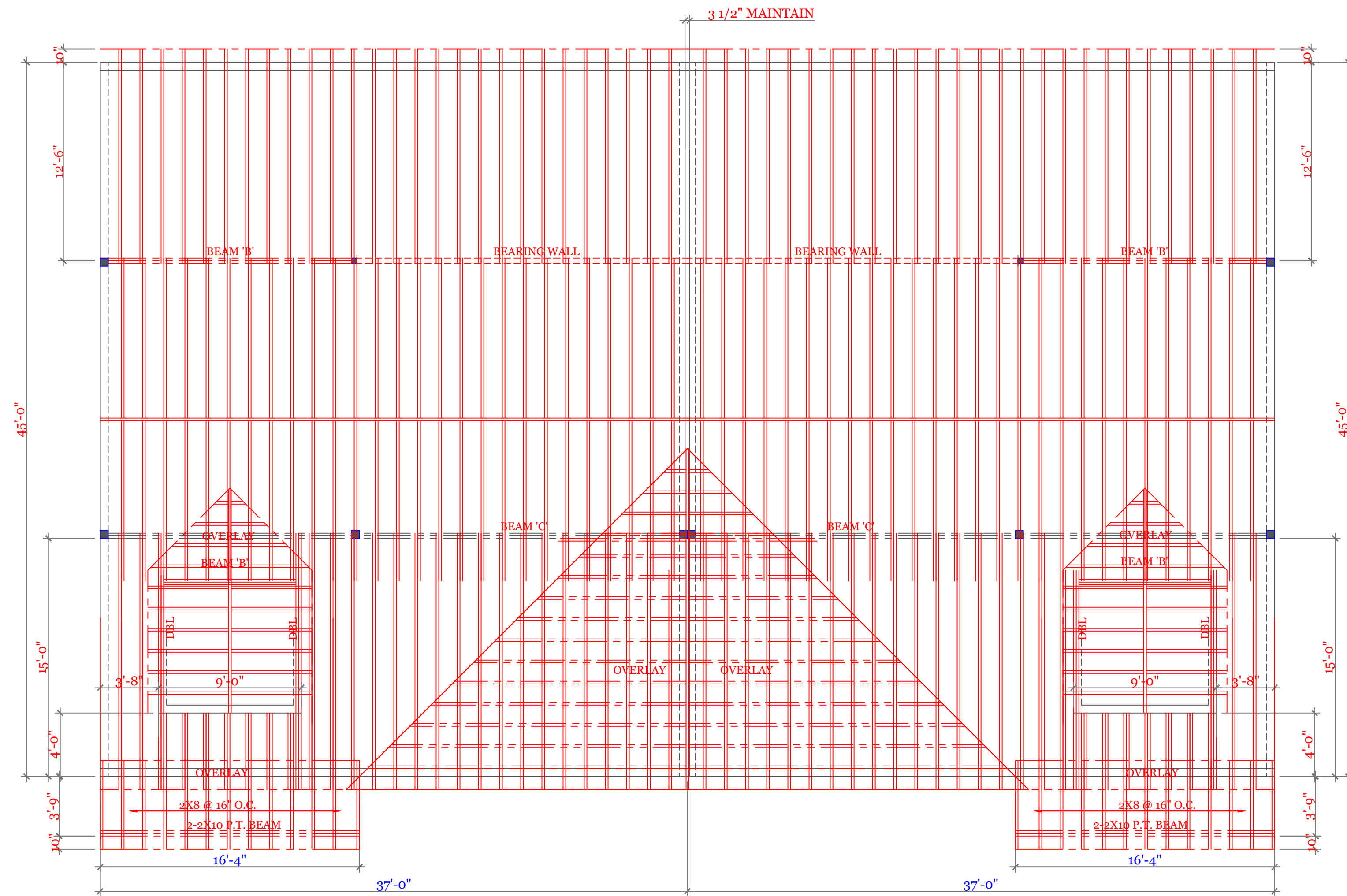
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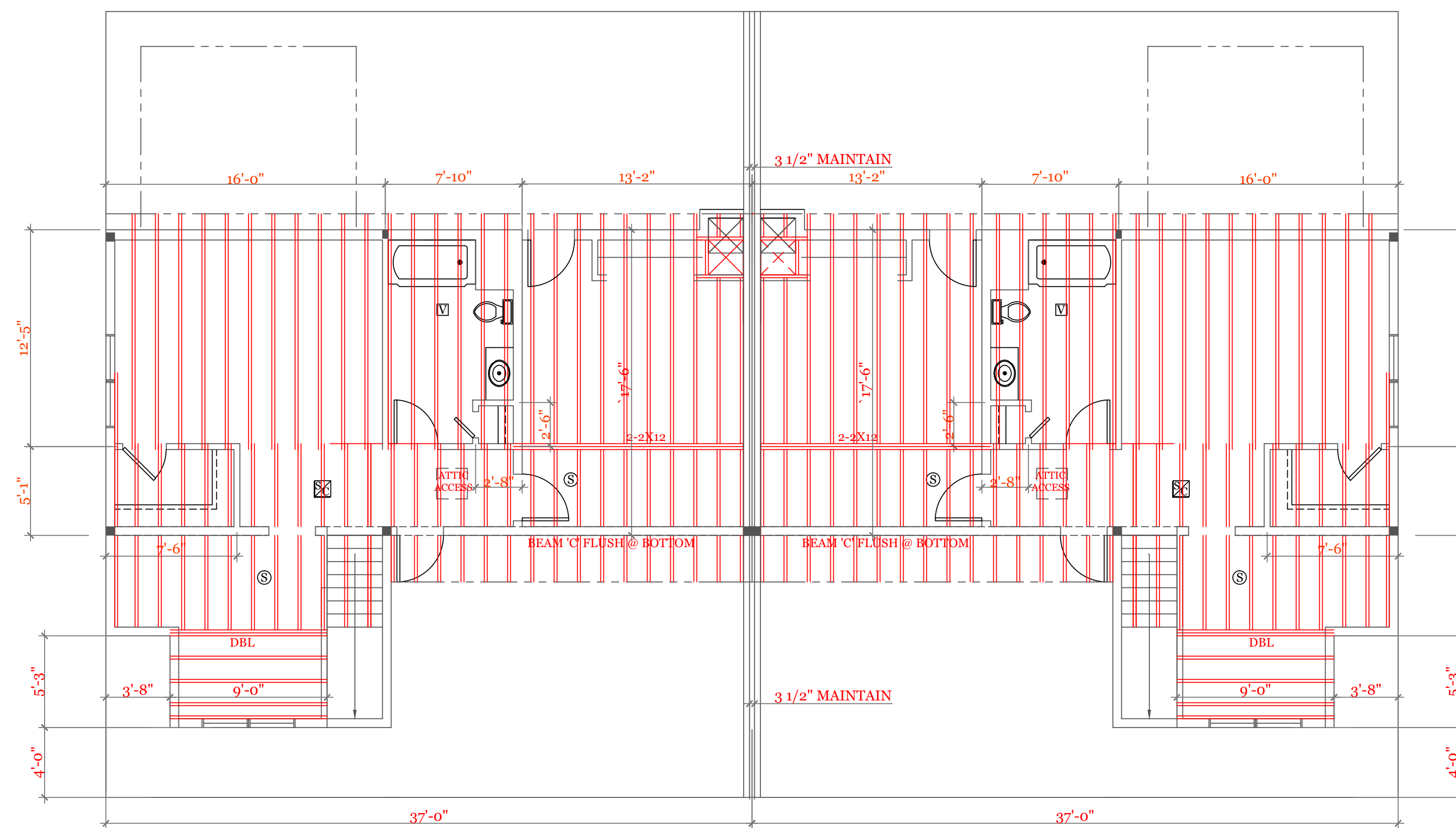
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Sheet 7 OF 8

7



ROOF FRAMING (2"X8"@16"O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS



CEILING FRAMING (2"X8"@16"O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION & BEAM SUPPORTS

BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	3 1/2" X 18" LVL	22'-0"	315	420	473	681
B	3 1/2" X 16" LVL	16'-0"	550	660	1296	1320
C	5 1/4" X 18" LVL	21'-0"	800	960	1065	1298

NOTES:

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UNIT 'A' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

CEILING & ROOF
 FRAMING PLANS
 BEAM SCHEDULE

UNIT 'A' DPLX

DATE: 9/20/2022 R5/5/23

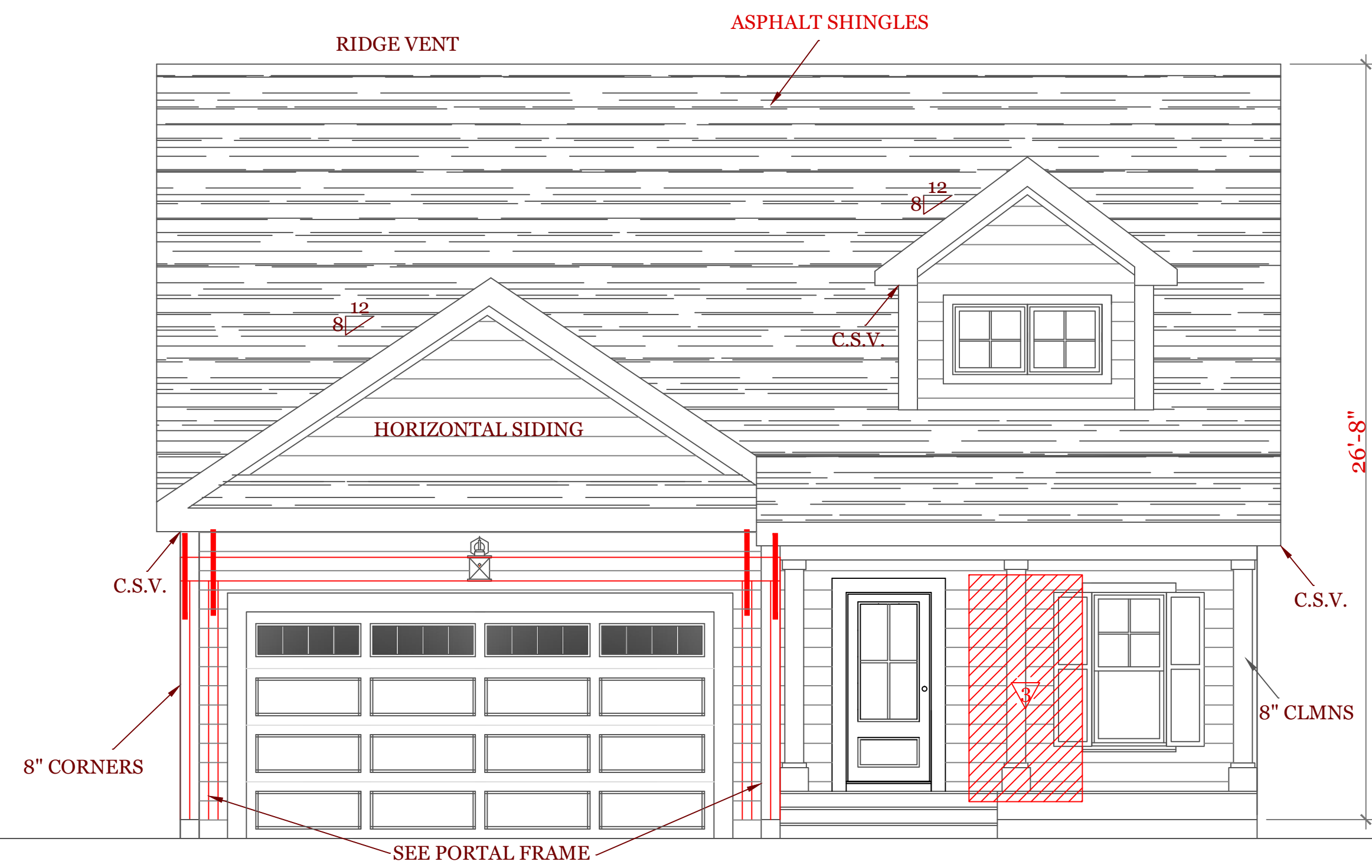
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CHECKED BY: MJB

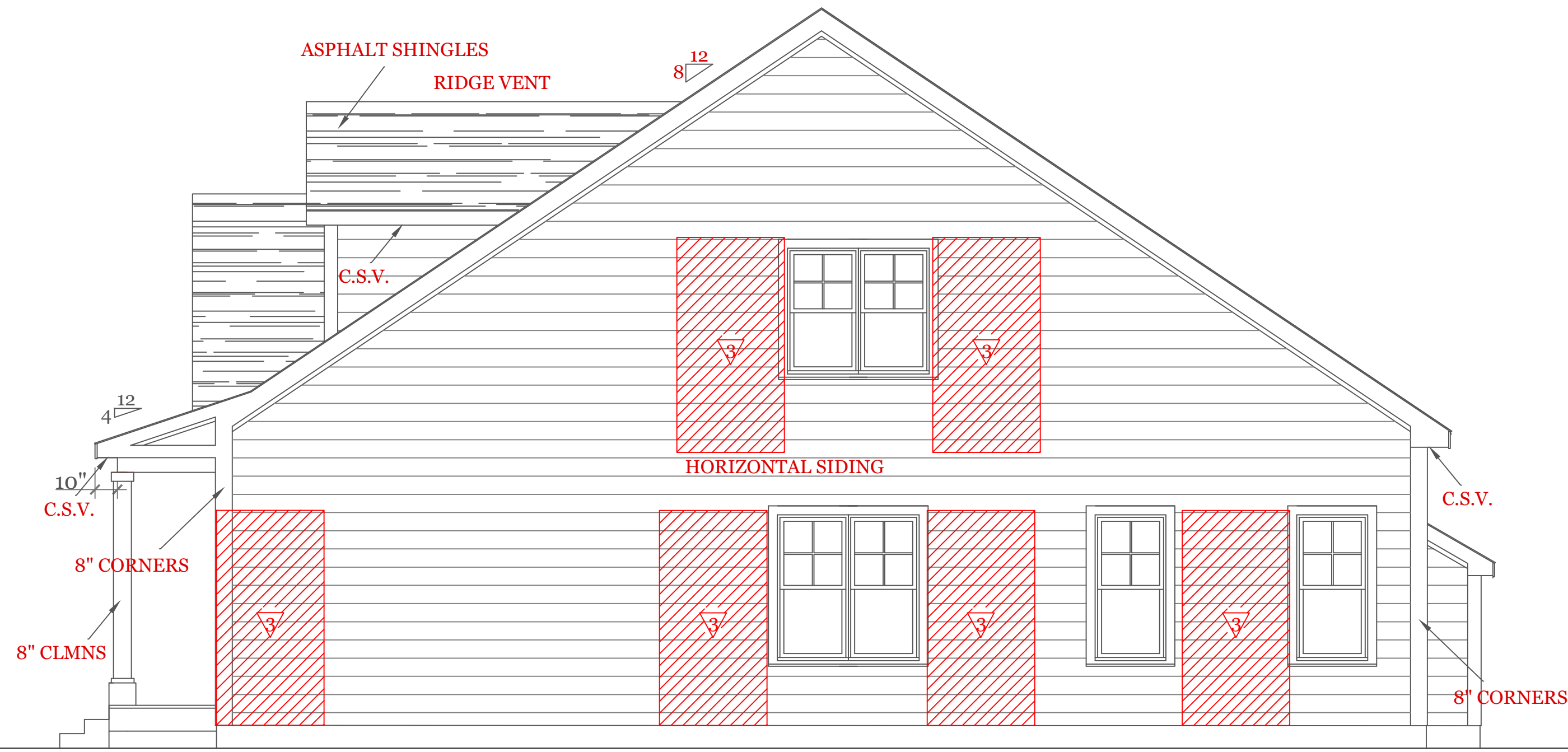
Sheet 8 OF 8

8

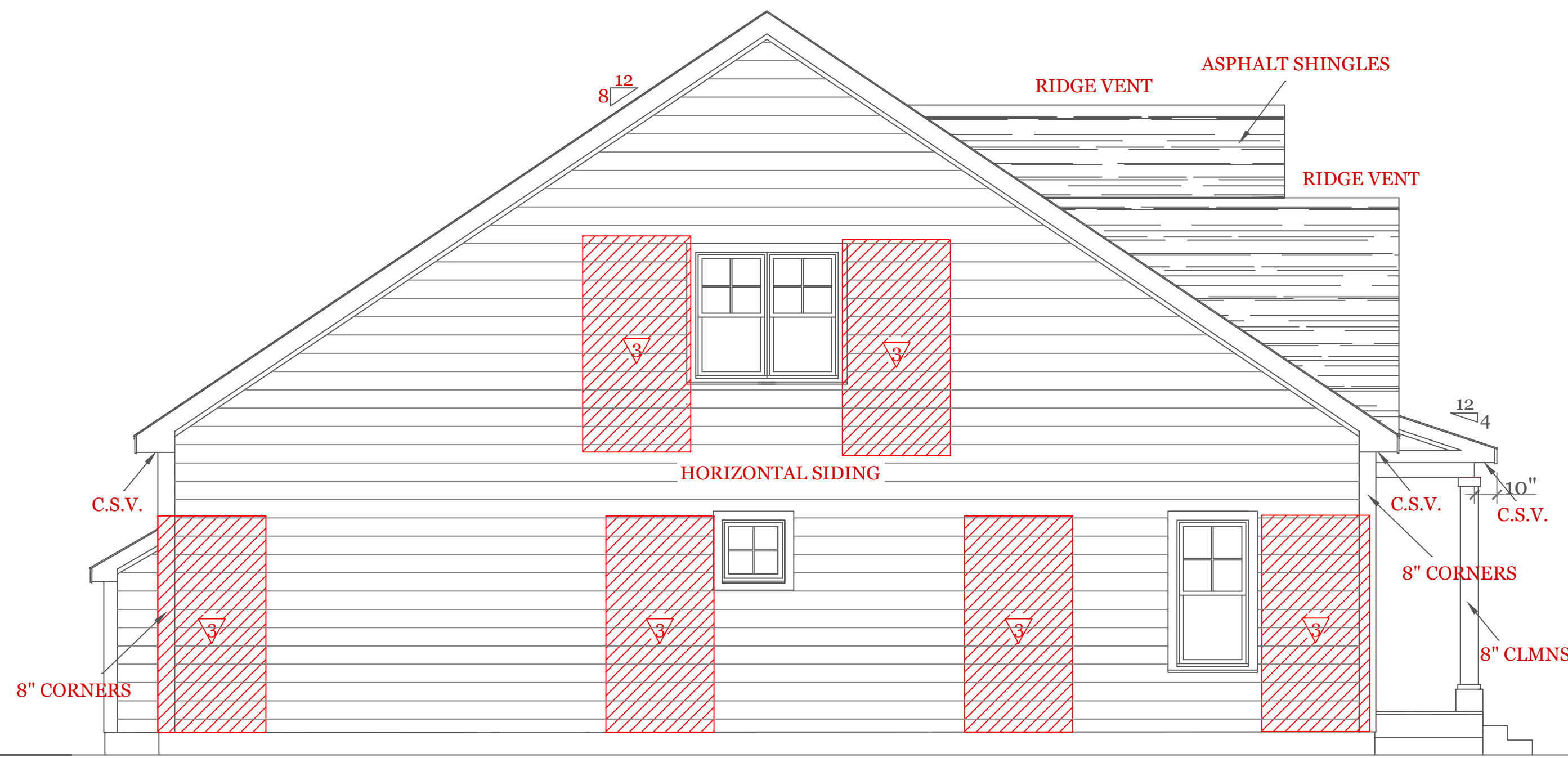


FRONT ELEVATION (1799 s.f.)

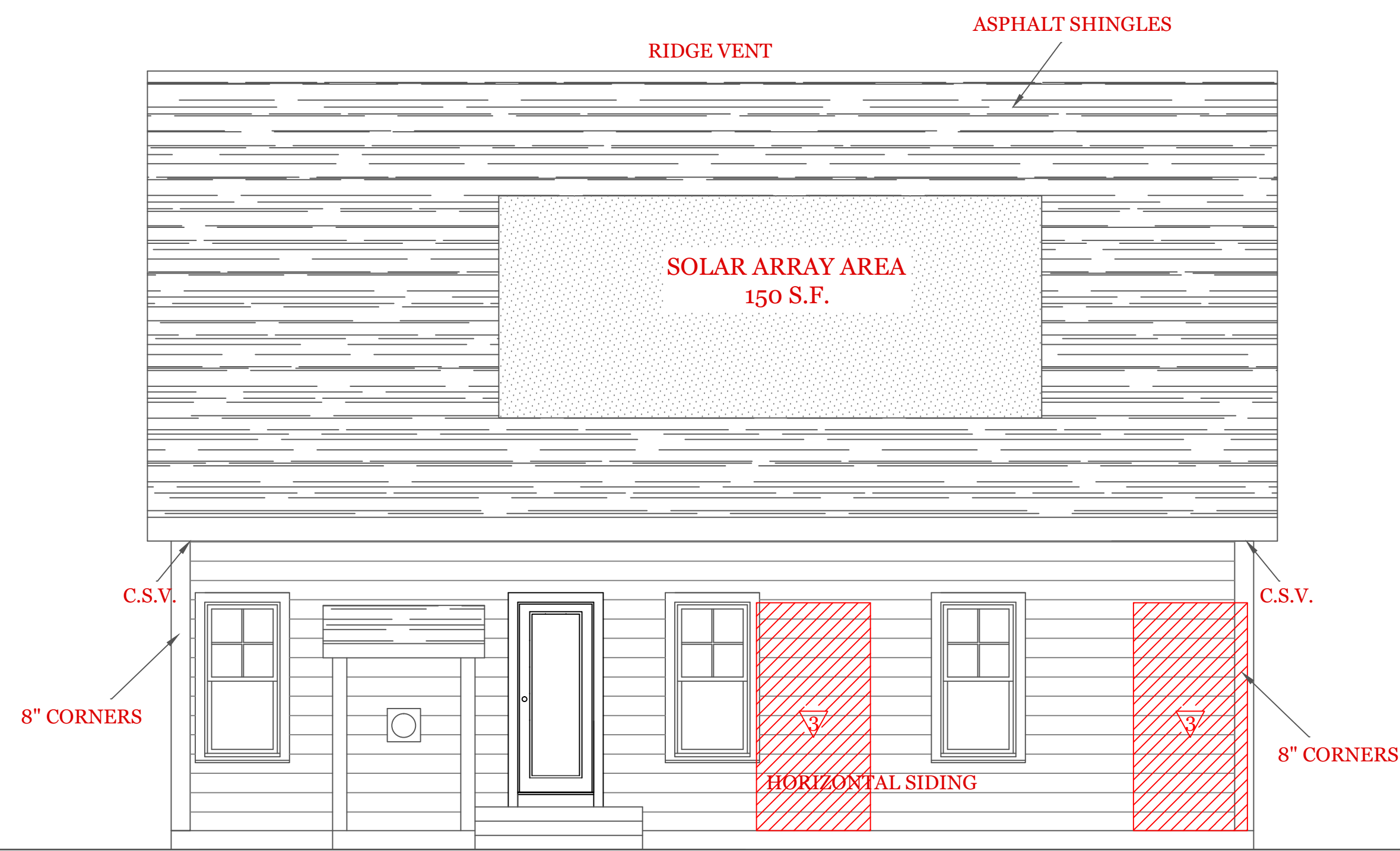
WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16\"/>



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

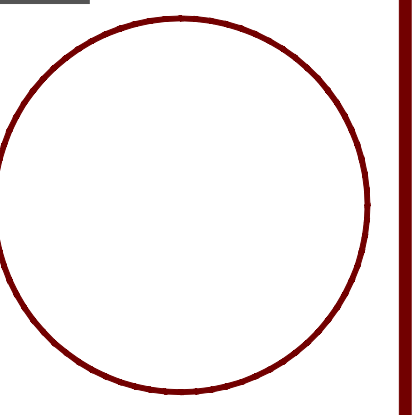
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UNIT A - 1676 S.F.
 HIGGINS FARM AT
 SALISBURY HILL

ELEVATION
 &
 FLOOR PLANS

UNIT 'A' GL

DATE: 9/20/22 R-5/5/23

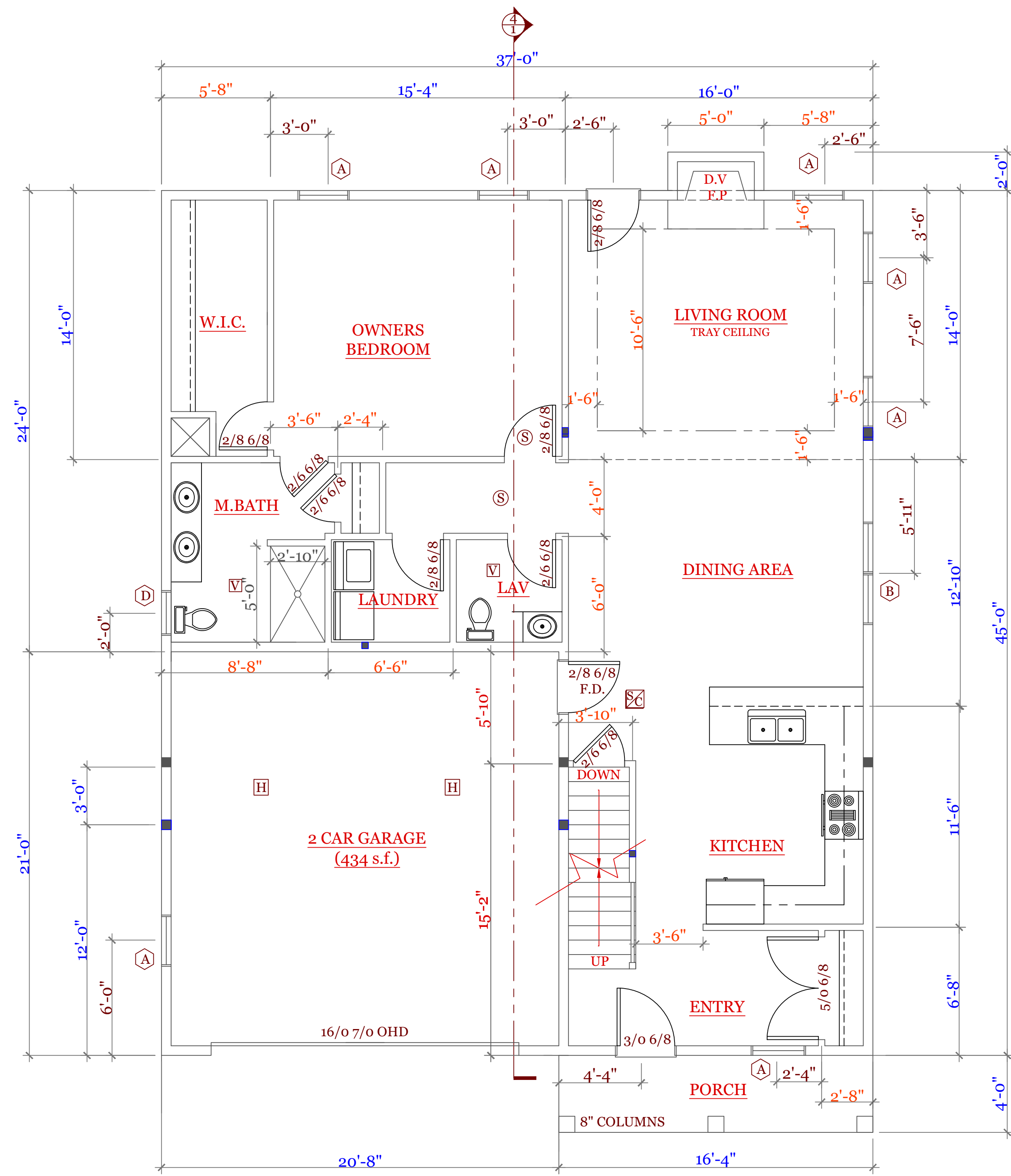
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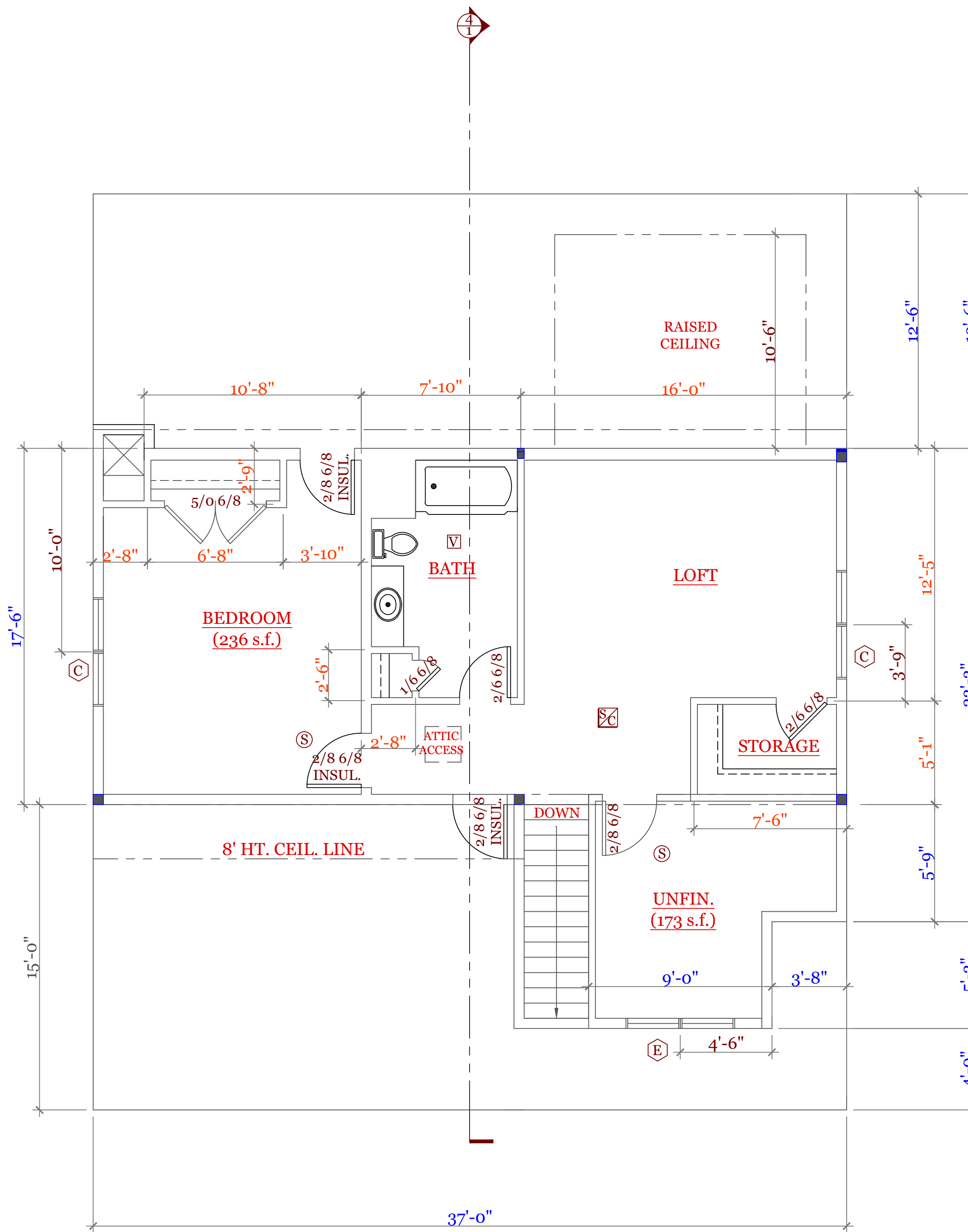
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Sheet 1 OF 5

1



FIRST FLOOR PLAN (1231 s.f. GARAGE 434 s.f.)



SECOND FLOOR PLAN (568 s.f.) ATTIC (687 s.f.)

WINDOW & EXTERIOR DOOR SCHEDULE: HARVEY			
INDEX	QUA	CATALOG	ROUGH OPENING
A	7	10000-1	2'-8 1/4" X 5'-6 1/4"
B	1	11000-1	5'-4 3/4" X 5'-6 1/4"
C	2	12000-1	5'-4 1/2" X 4'-9 1/4"
D*	1	13000-1 (T)	2'-8 1/8" X 2'-8 1/8"
E	1	A2281	5'-3 1/4" X 2'-0 5/8"
F	1	15000-1	5'-4 1/2" X 6'-10 1/2"
G	1	16000-1	3'-2 1/2" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS
*D WINDOW TEMPERED IN BATH

NOTES:

SYMBOL SCHEDULE:

- ☐ VENT
- ☒ SMOKE AND CARBON DETECTOR
- Ⓢ SMOKE DETECTOR
- Ⓜ HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK

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UNIT 'A'
HIGGINS FARM AT
SALISBURY HILL

FIRST & SECOND
FLOOR PLAN
WINDOW SCHEDULE

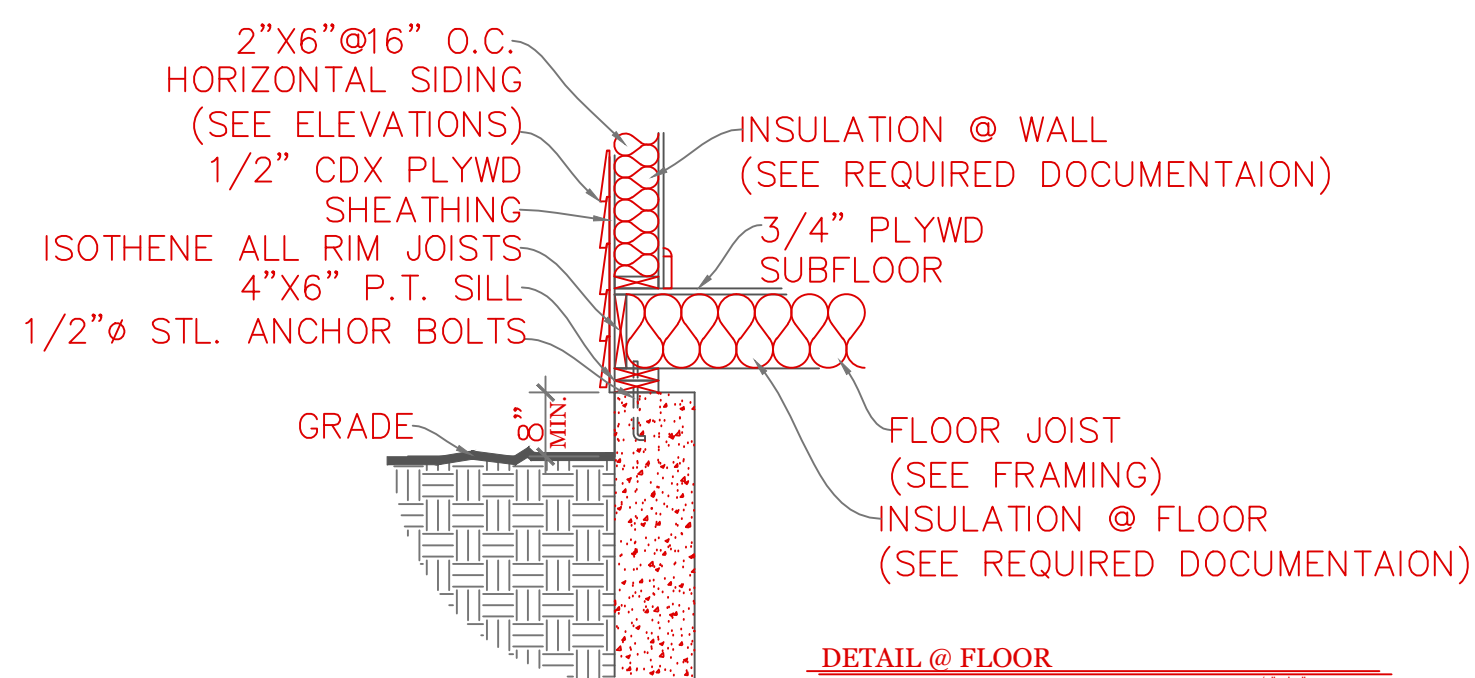
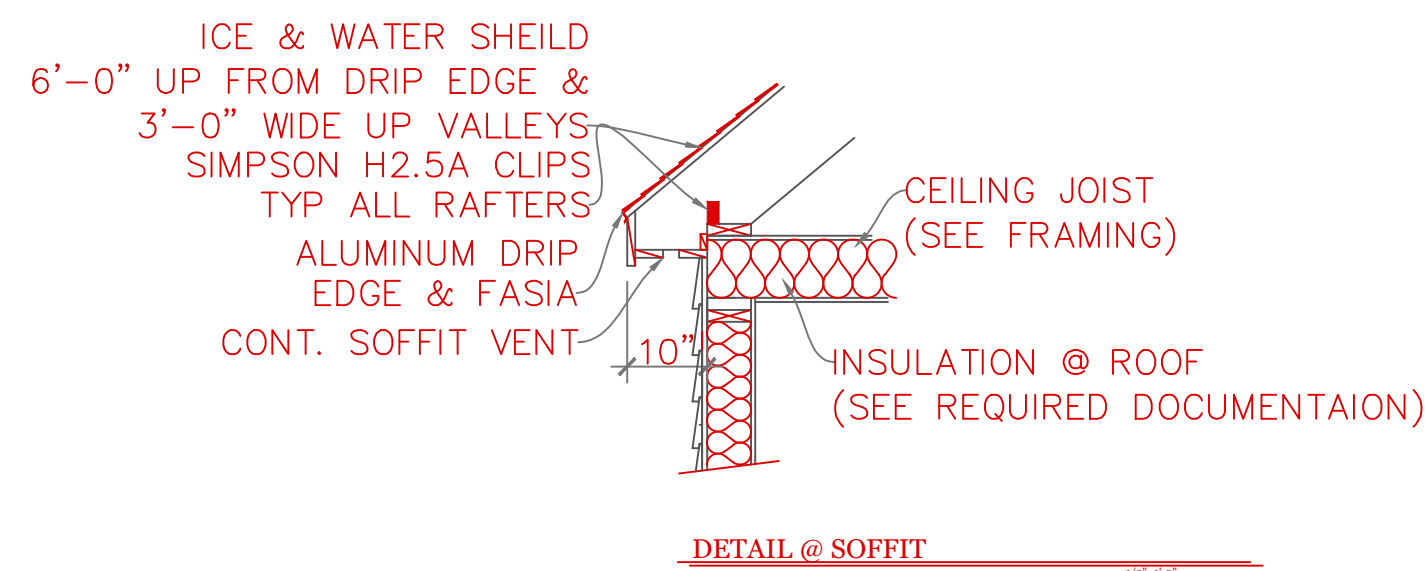
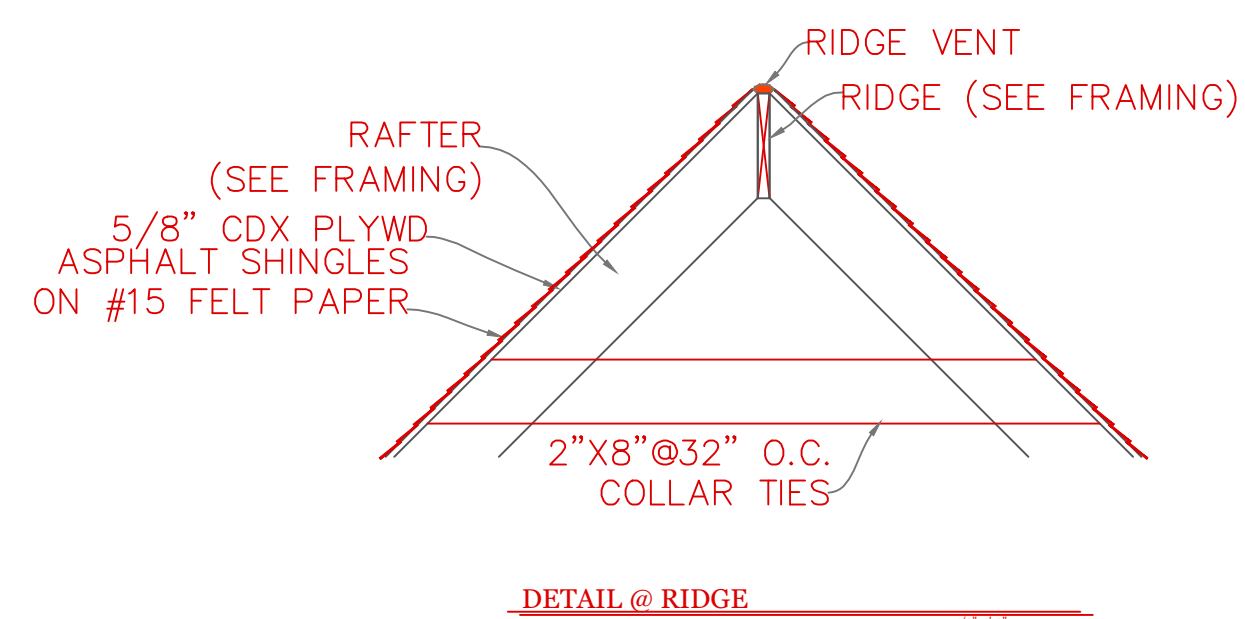
UNIT 'A' GL

DATE: 9/20/22 R-5/5/23
SCALE: 1/4"=1'-0"
DRAWN BY: RCS
CHECKED BY: MJB

Sheet 3 OF 5

3

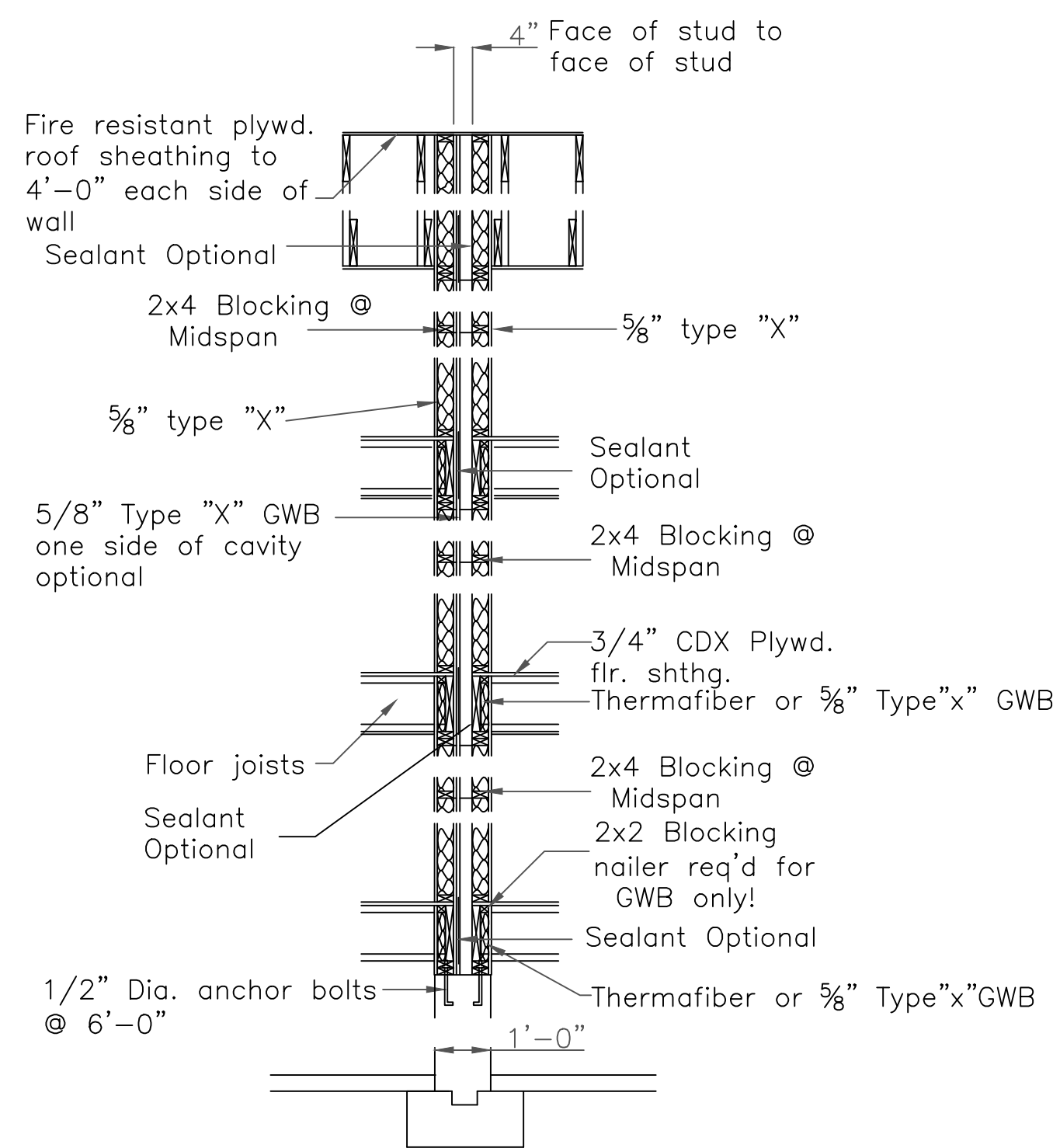
TYPICAL BUILDING SECTION



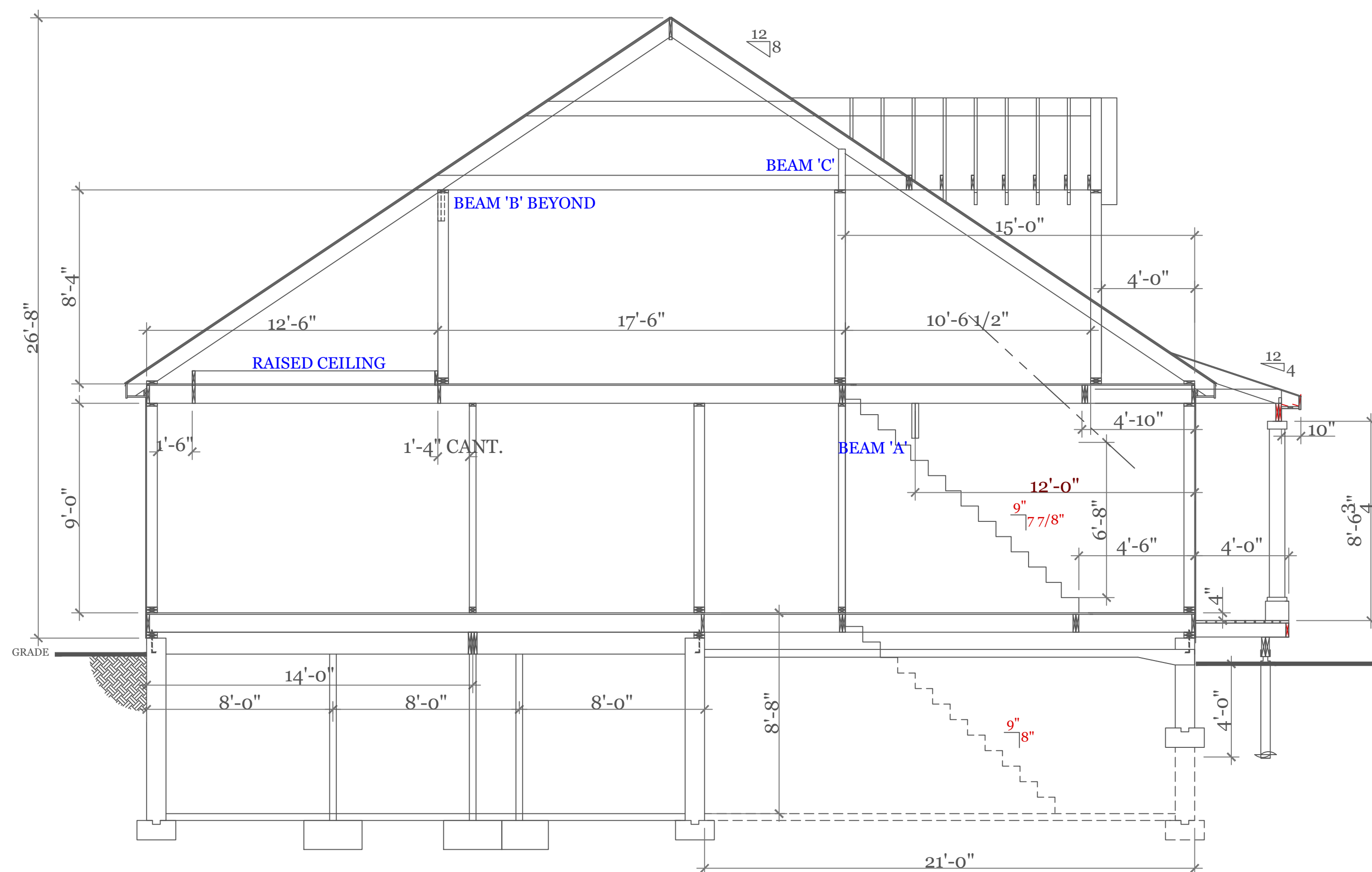
CONSTRUCTION SCHEDULE:		(UNLESS NOTED OTHERWISE ON PLAN)
1 RIDGE BOARD:	2X12	
2 ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT	
3 ROOF SHEATHING	1/2" O.S.B. w/ 15# ROOF FELT	
4 ROOF RAFTER:	SEE FRAMING	
5 COLLAR TIES:	1X8 @ 32" O.C.	
6 DRIP EDGE	ALUMINUM DRIP EDGE	
7 SOFFIT:	CONT. SOFFIT VENT	
8 CEILING JOIST	SEE FRAMING	
9 ATTIC INSULATION	R-38	
10 EXT WALL:	2"X6" @ 16" O.C.	
11 EXT. SHEATHING	1/2" O.S.B. w/ HOUSE WRAP	
12 EXT. FINISH	SEE ELEVATIONS	
13 INSULATION@WALL	R-21	
14 INTERIOR WALL	2"X4" @ 16" O.C.	
15 SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED	
16 JOIST:	SEE FRAMING.	
17 SILL:	2"X6" P.T. SILL W/ 2X6 KD TOP PLATE	
18 INSULATION @ FLOOR	R-30	
19 ANCHOR:	1/2" DIA STL ANCHOR BOLTS	
20 BEAM:	SEE FRAMING PLAN	
21 COLUMN:	3 1/2" L.C.	
22 FND. WALL:	10"X7'-10" CONC. WALL	
23 SLAB:	SEE FOUNDATION NOTES	
24 FOOTING:	20"X10" CONT. KEYED FTNG	
25 CONC. PAD:	30"X30"X15" CONC. PAD	

NOTES: -ISOETHENE ALL RIM JOISTS (OPTIONAL)
 -ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS
 -SIMPSON H2.5A CLIPS TYP ALL RAFTERS

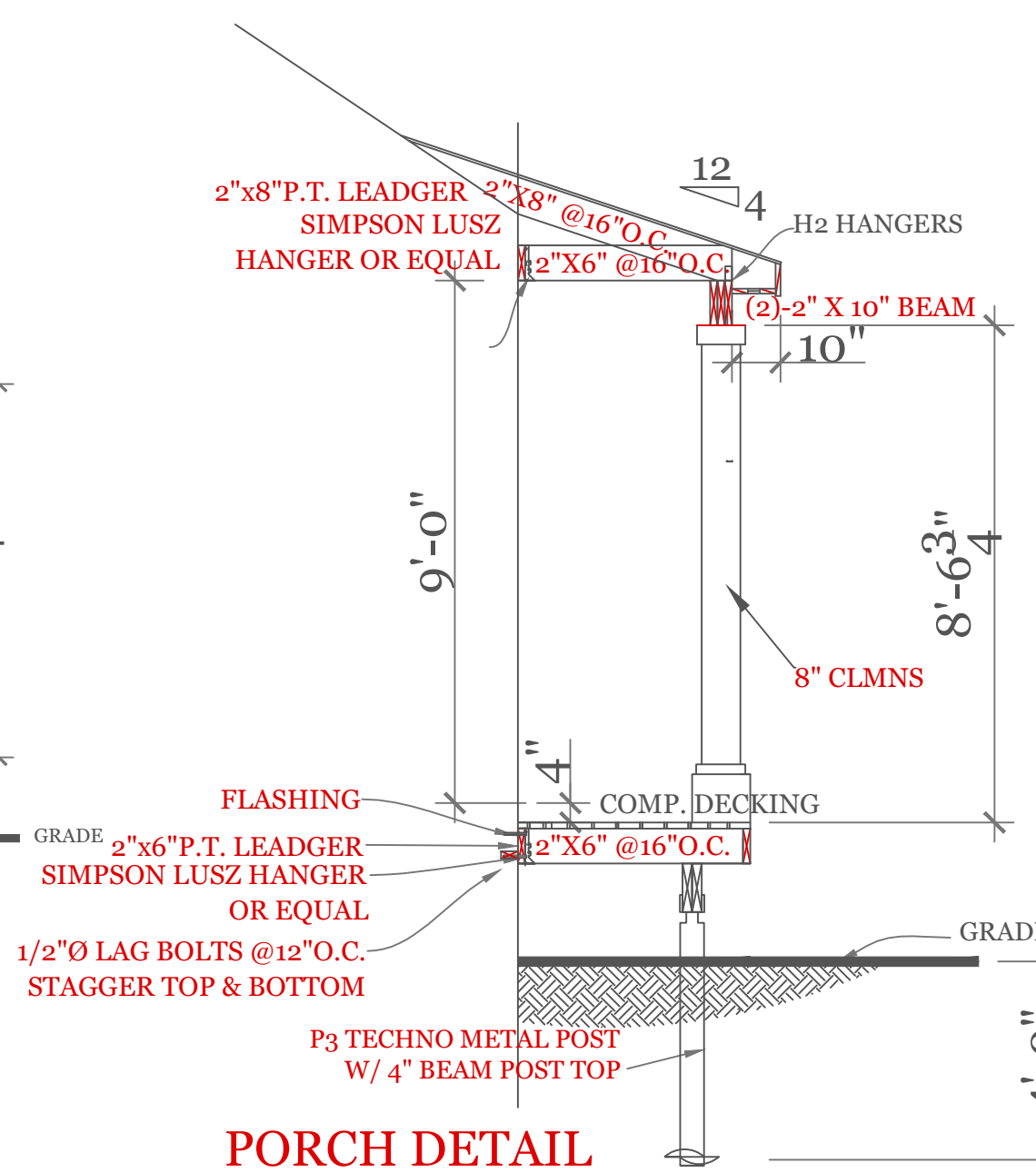
DUPLEX BUILDING ONLY



A Fire Resistance rated wall section
 For more information see U.L. LISTING --- U-305 3/8"-1'-0"
 STC Rating = 56
 Bearing wall Rating = 1 HR.



CROSS SECTION
 1/4"=1'-0"



PORCH DETAIL

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+ ^h	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTES 780 CMR 9TH EDITION

- For SI: 1 foot = 304.8 mm.
- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
 - The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 - "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
 - There are no SHGC requirements in the Marine Zone.
 - Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
 - Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
 - The second R-value applies when more than half the insulation is on the interior of the mass wall.
 - For impact rated fenestration complying with Section R301.2.1.2 of the *International Residential Code* or Section 1608.1.2 of the *International Building Code*, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	\$5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	\$5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)

NOTES:

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UNIT 'A'
 HIGGINS FARM AT
 SALISBURY HILL

BUILDING SECTIONS & DETAILS

UNIT 'A' GL

DATE: 9/20/22 R-5/5/23

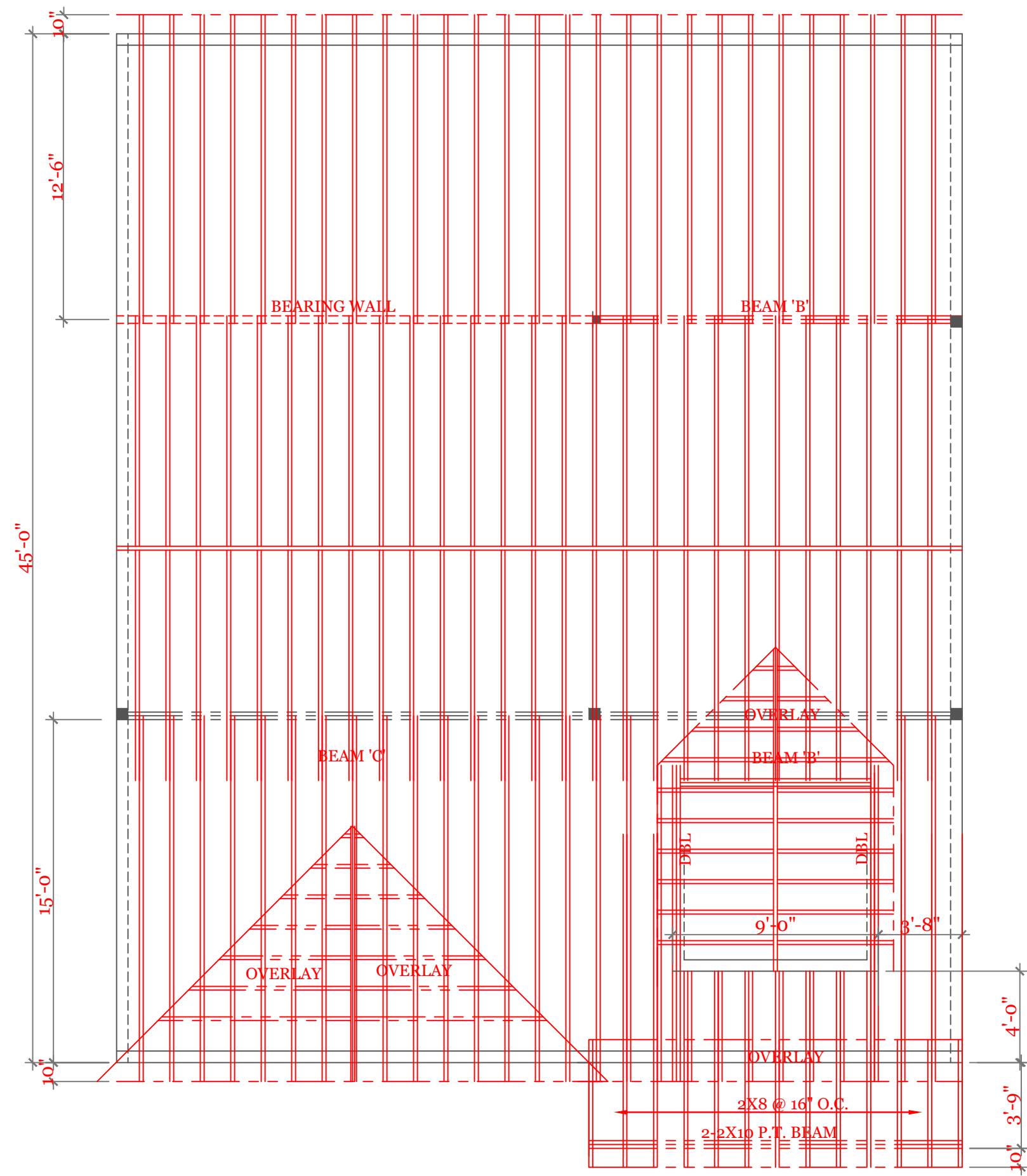
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DRAWN BY: RCS

CHECKED BY: MJB

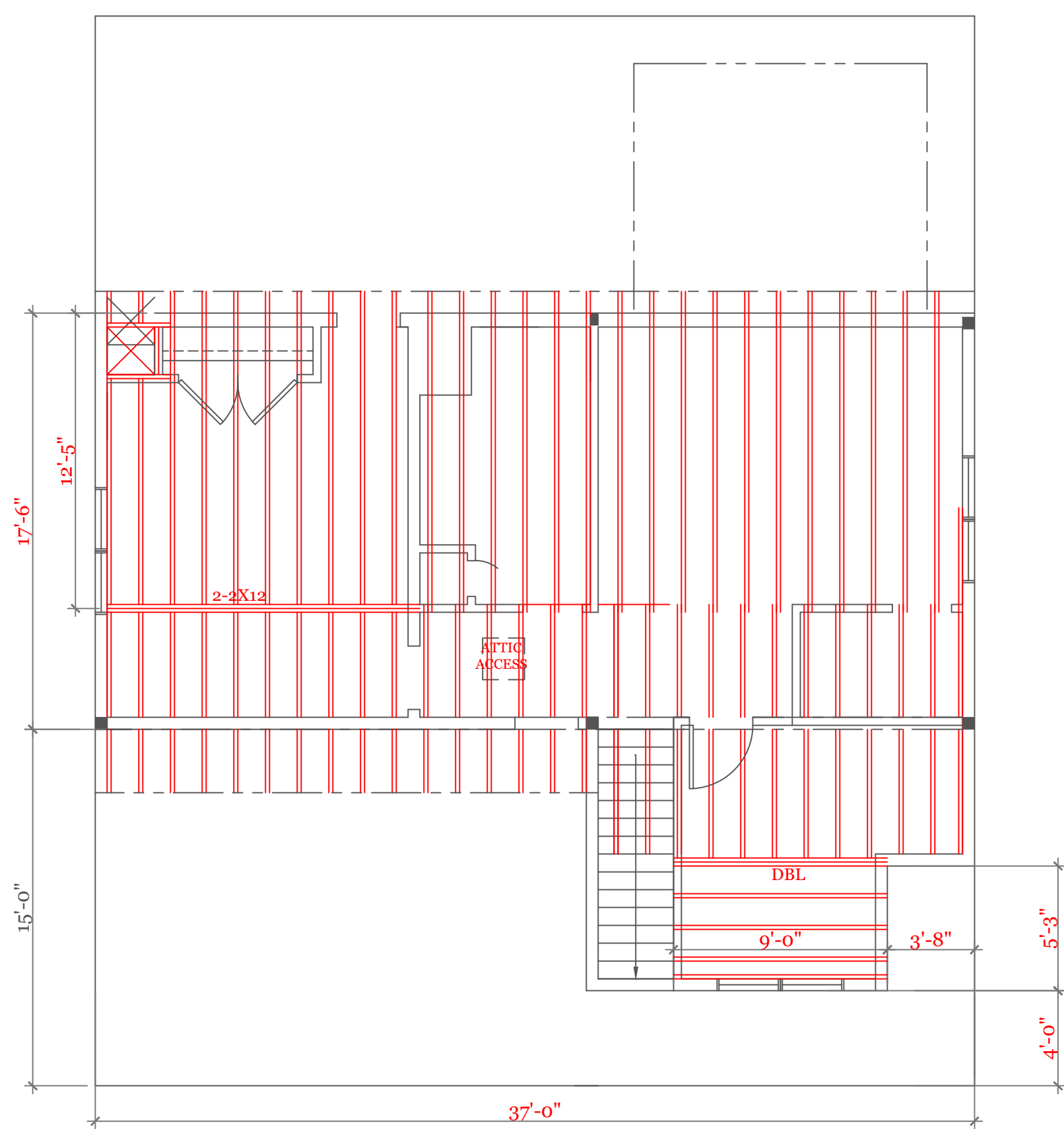
Sheet 4 OF 5

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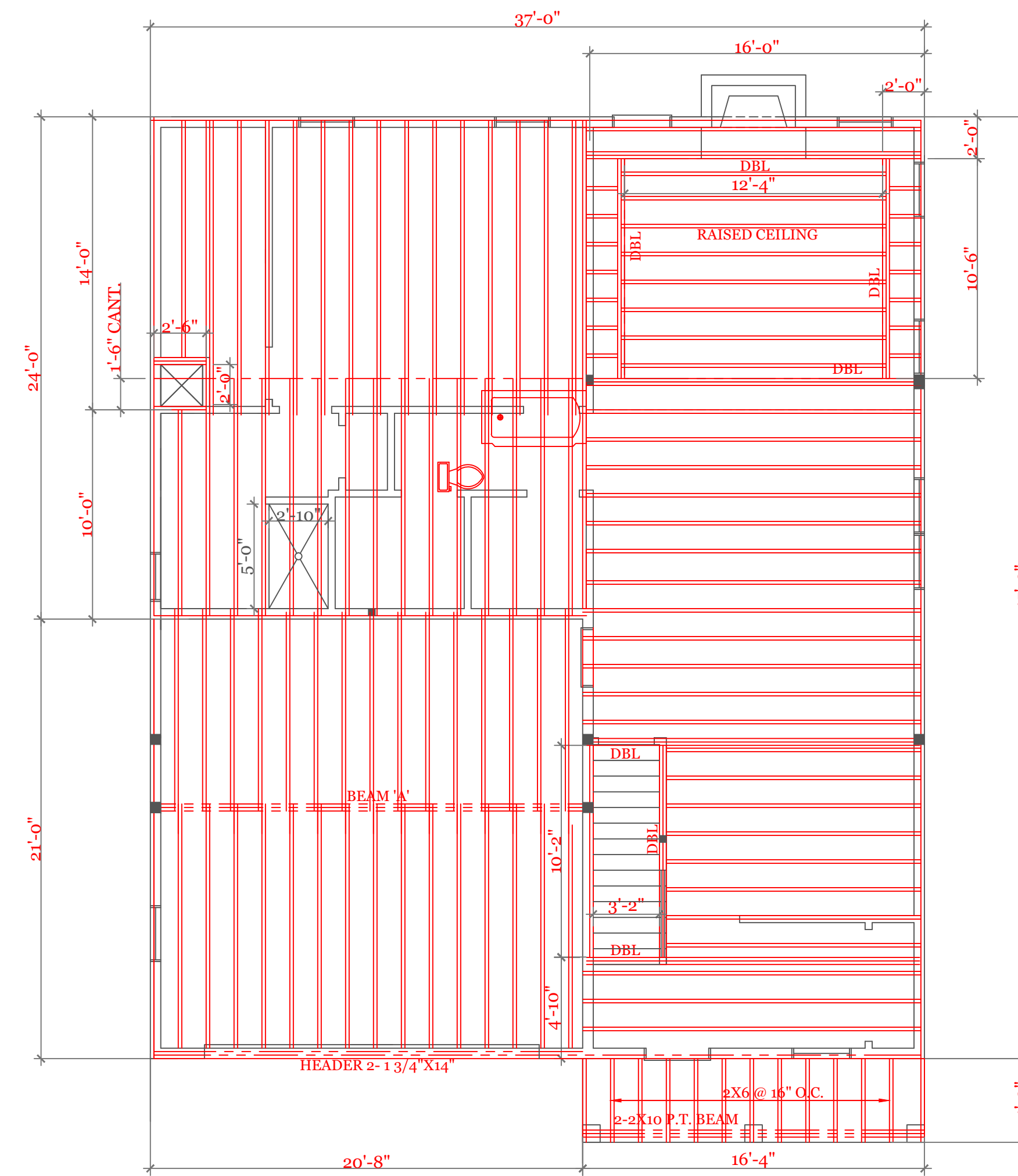


ROOF FRAMING (2"X8"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"

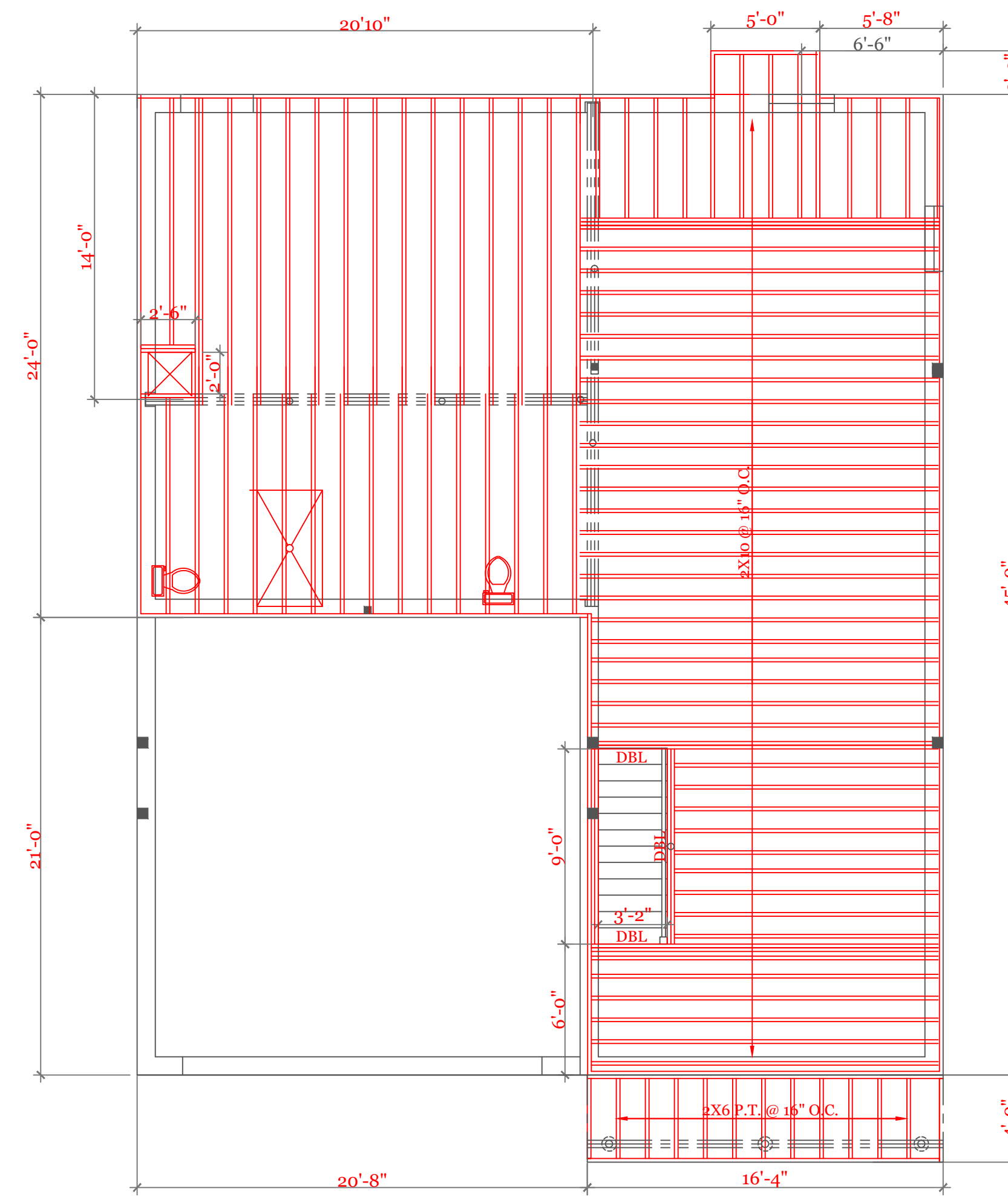
BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	3 1/2" X 18" LVL	22'-0"	315	420	473	681
B	3 1/2" X 16" LVL	16'-0"	550	660	1296	1320
C	5 1/4" X 18" LVL	21'-0"	800	960	1065	1298



CEILING FRAMING (2"X8"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"



SECOND FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"



FIRST FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)
OPTION 2X12 @ 16" O.C.
3/16" = 1'-0"

NOTES:

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UNIT 'A'
HIGGINS FARM AT
SALISBURY HILL

FRAMING PLANS
BEAM SCHEDULE

UNIT 'A' GL

DATE: 9/20/22 R-5/5/23

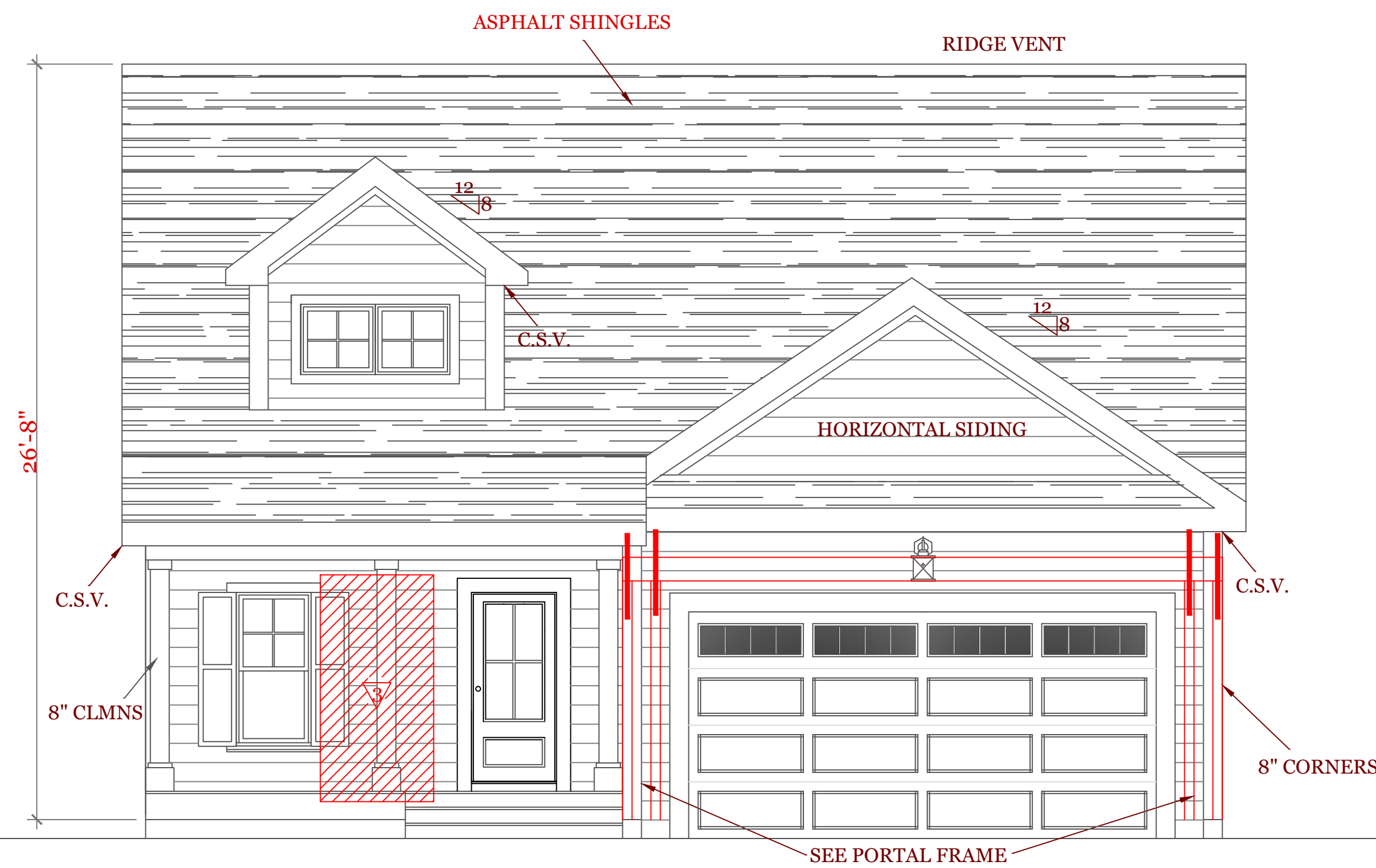
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DRAWN BY: RCS

CHECKED BY: MJB

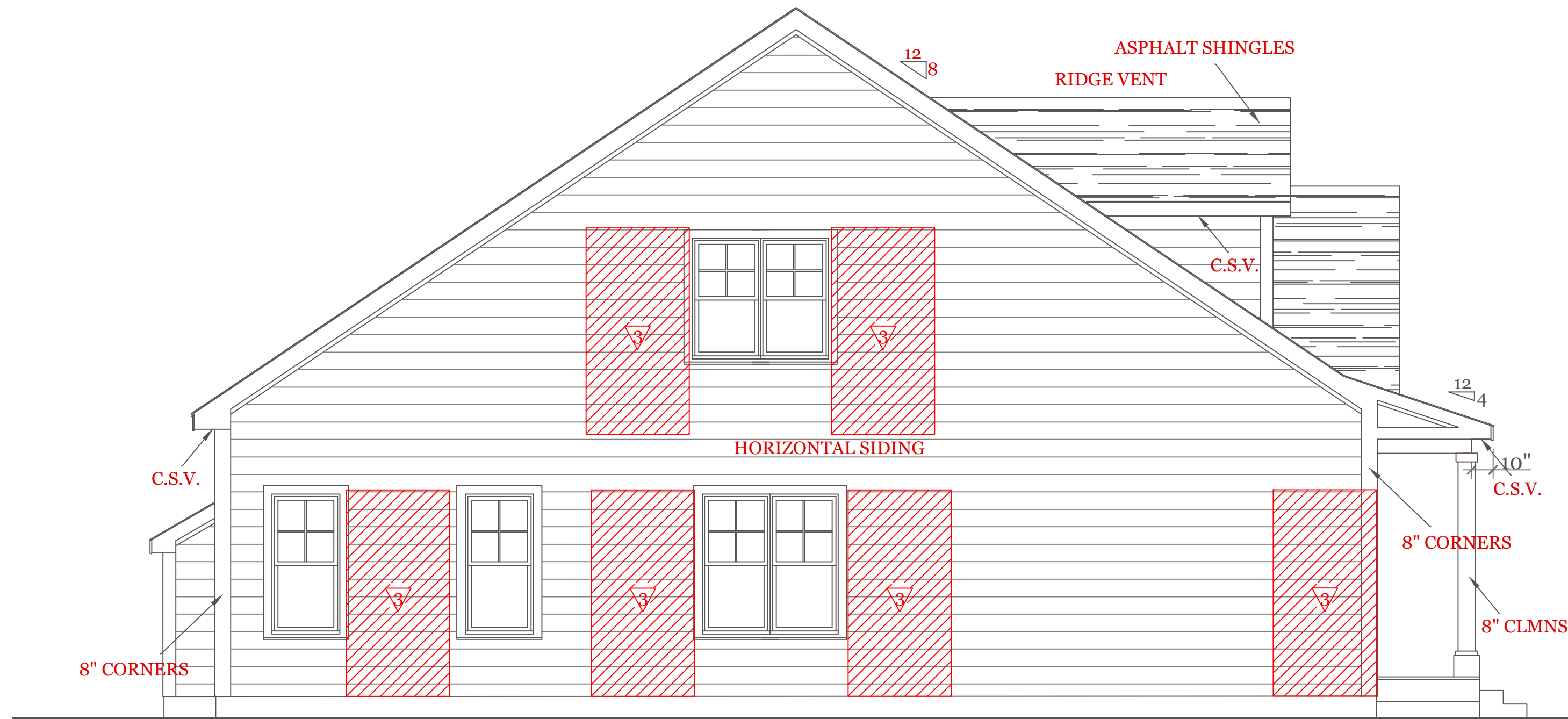
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5

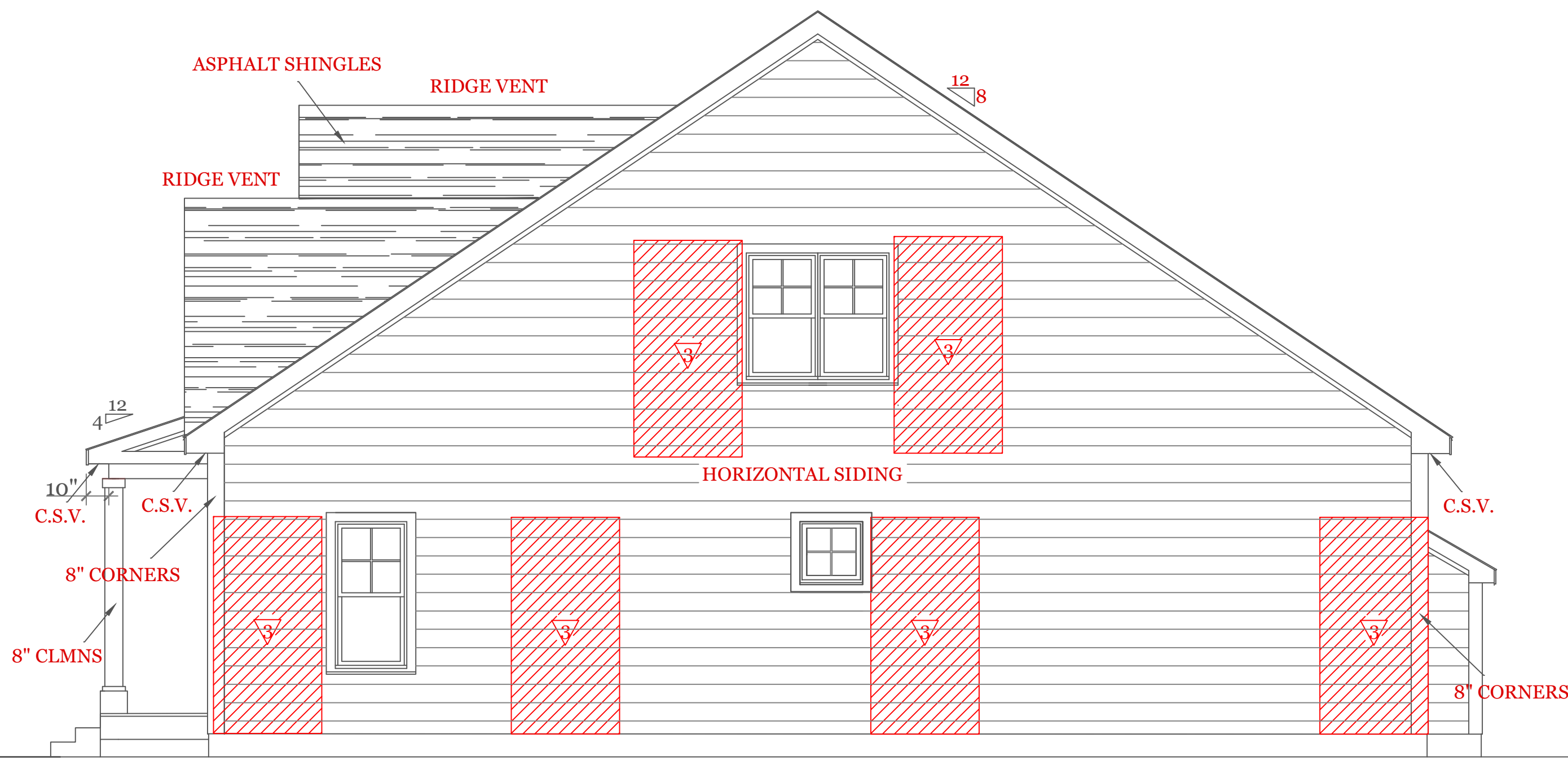


FRONT ELEVATION (1799 s.f.)

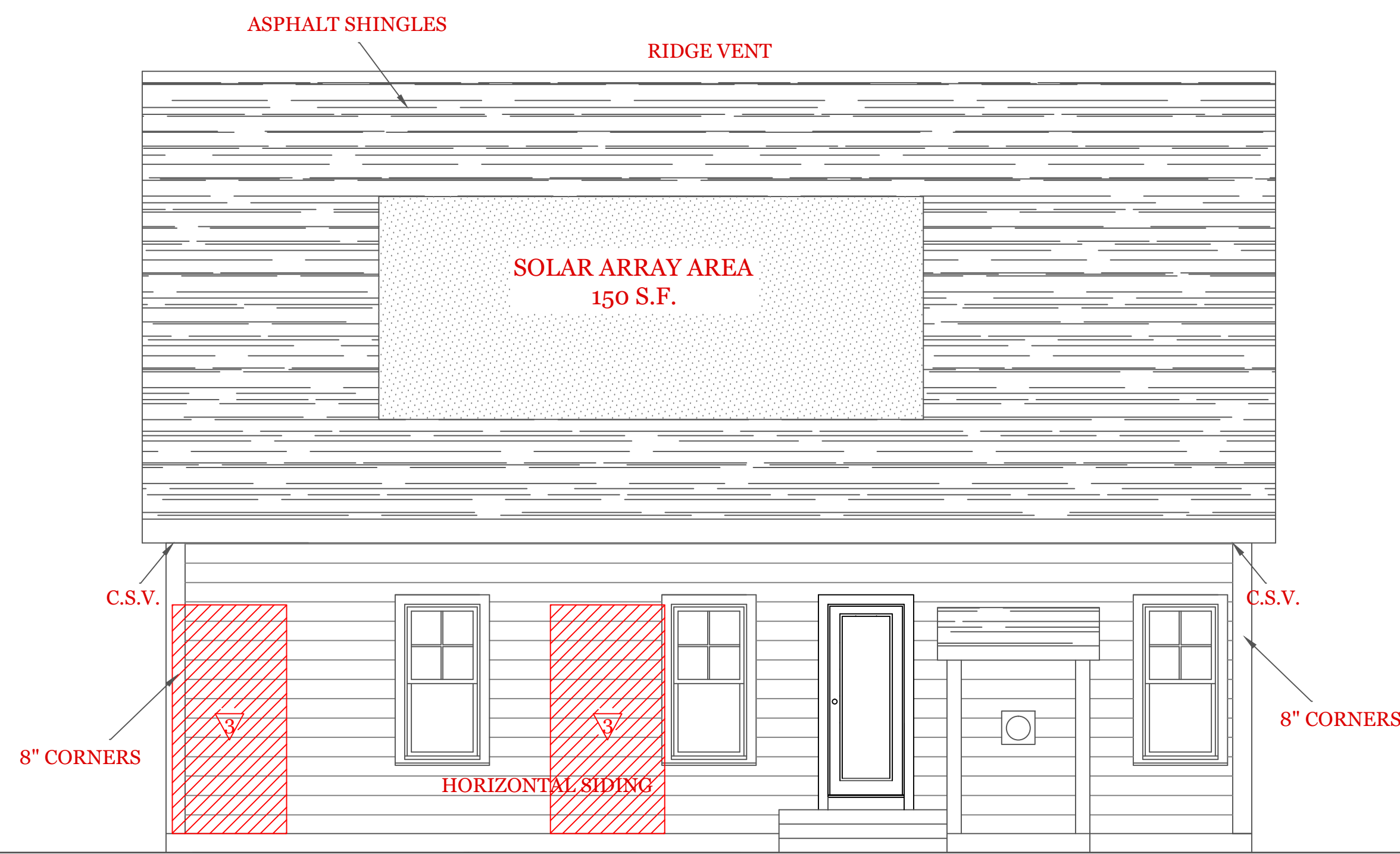
WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING PANELS INSTALLED VERTICALLY
 W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION

NOTES:

- GENERAL NOTES:
 1. These plans are drawn as required for construction by an experienced licensed general contractor.
 2. The General contractor shall fully comply with the 9TH Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
 3. Written dimensions shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings. Any defects in the construction documents shall be brought to the attention of this office before proceeding with work. Reasonable time not allowed this office to correct defects shall place the burden of cost and liability from such defects upon the contractor.

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UNIT A - 1676 S.F.
 HIGGINS FARM AT
 SALISBURY HILL

ELEVATIONS

UNIT 'A' GR

DATE: 9/20/22 R-5/5/23

SCALE: 1/4" = 1'-0"

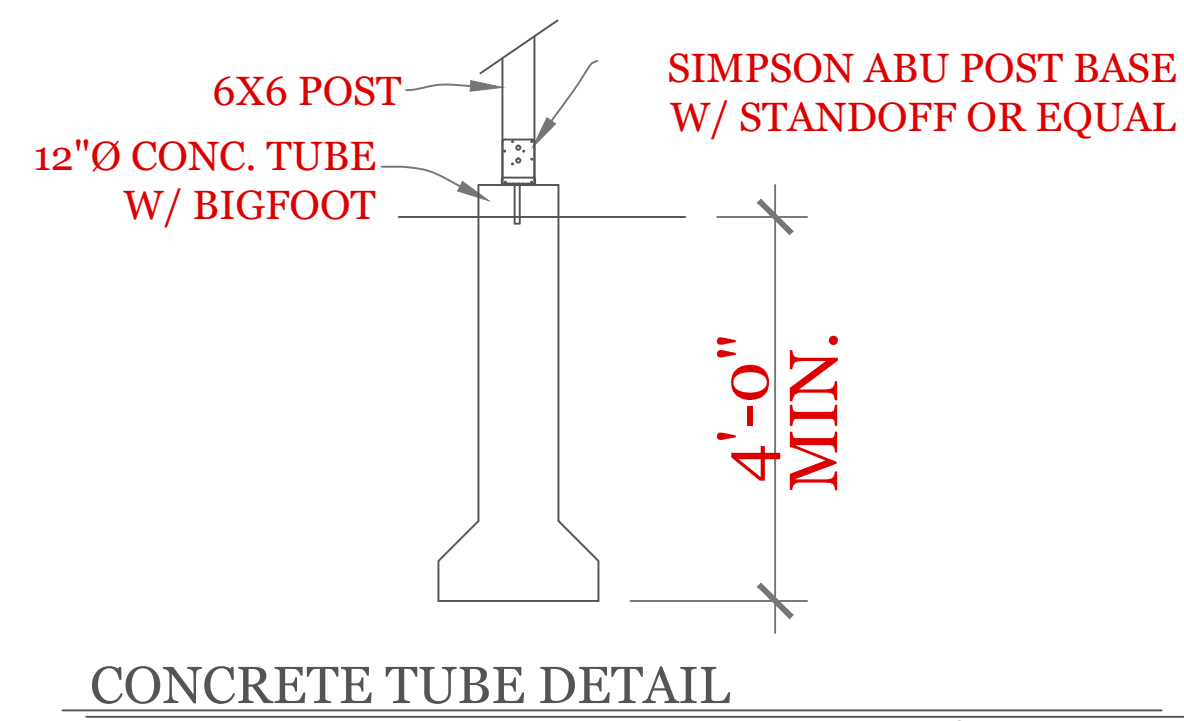
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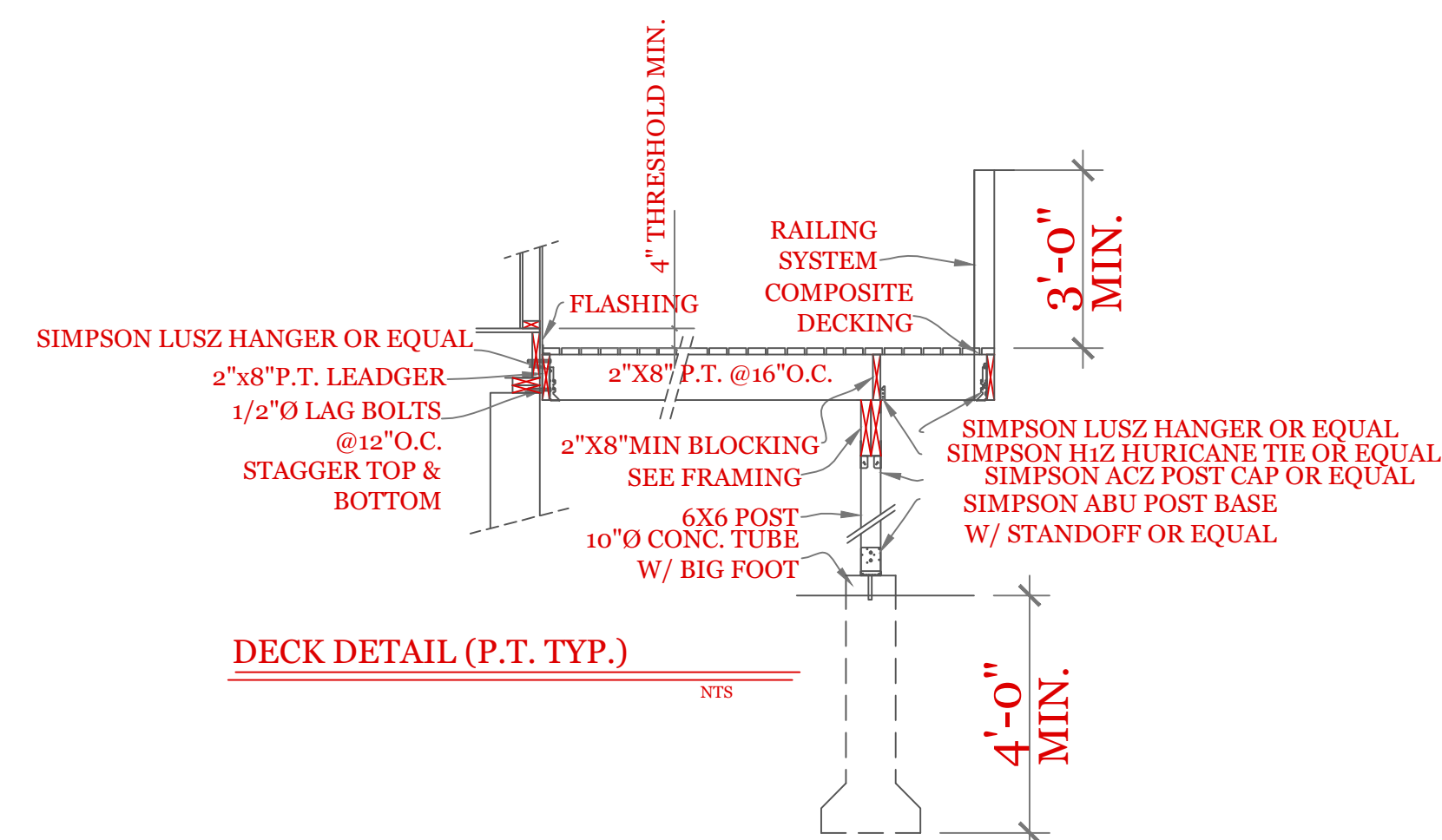
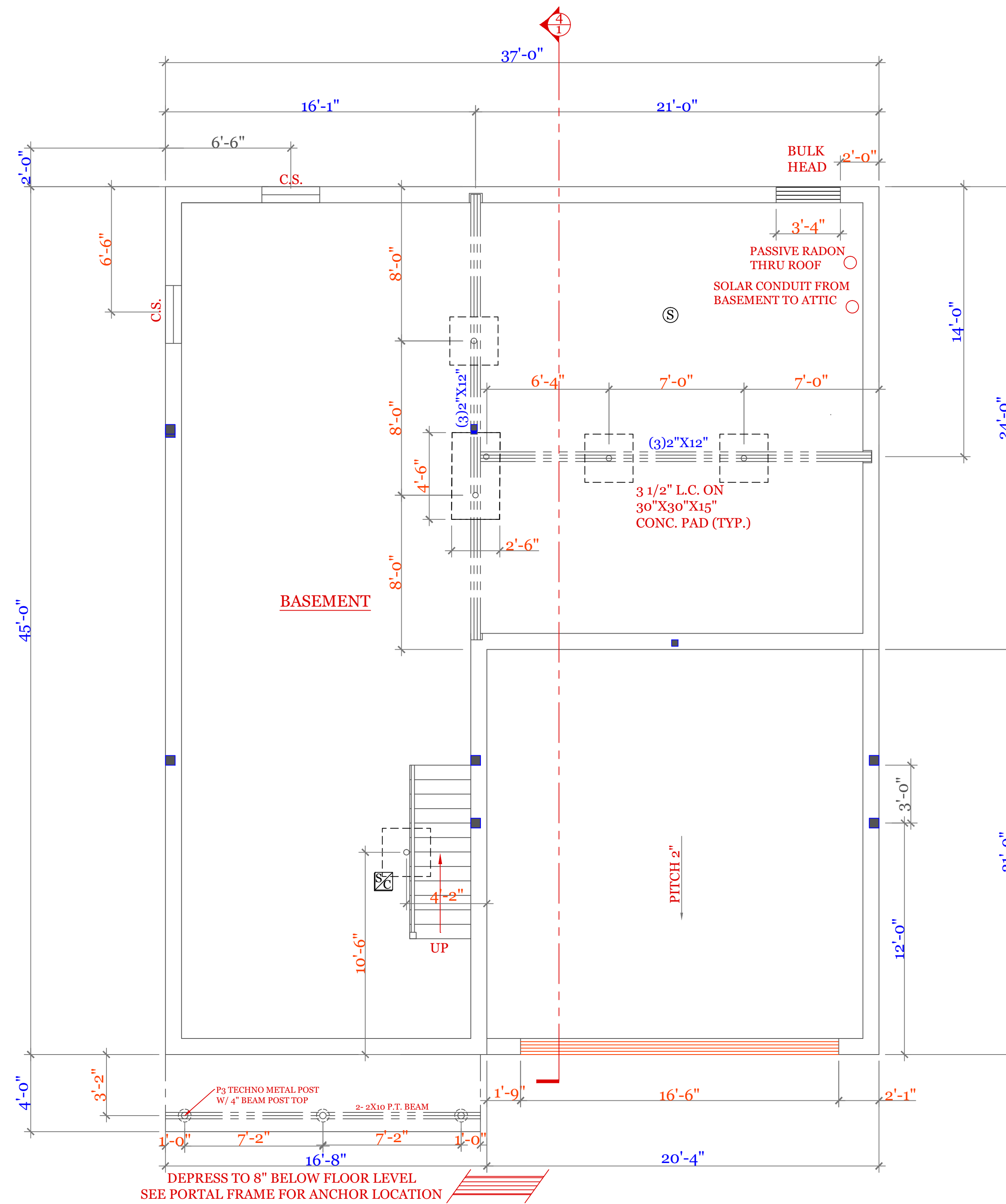
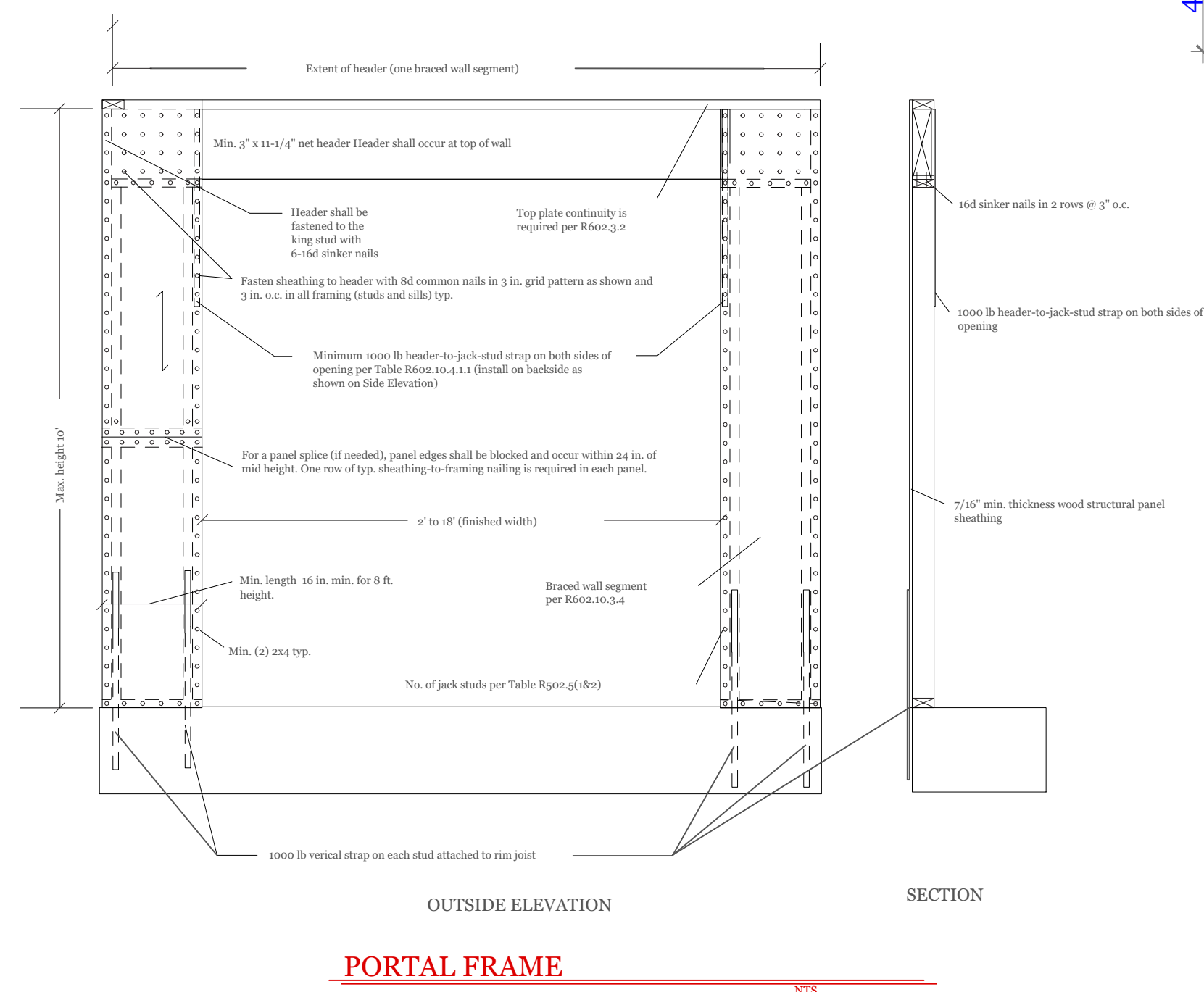
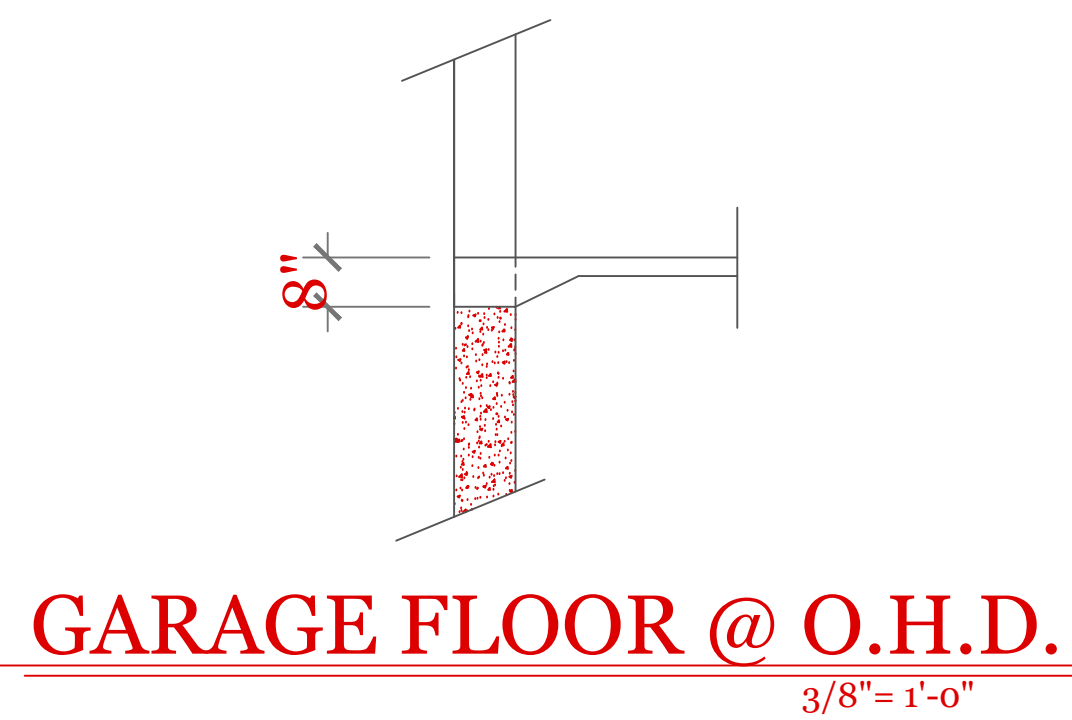
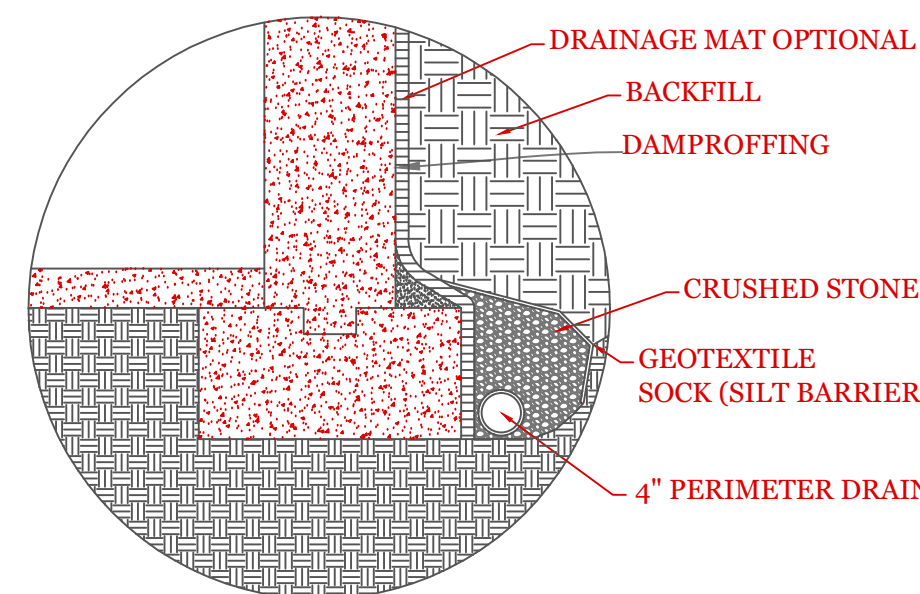
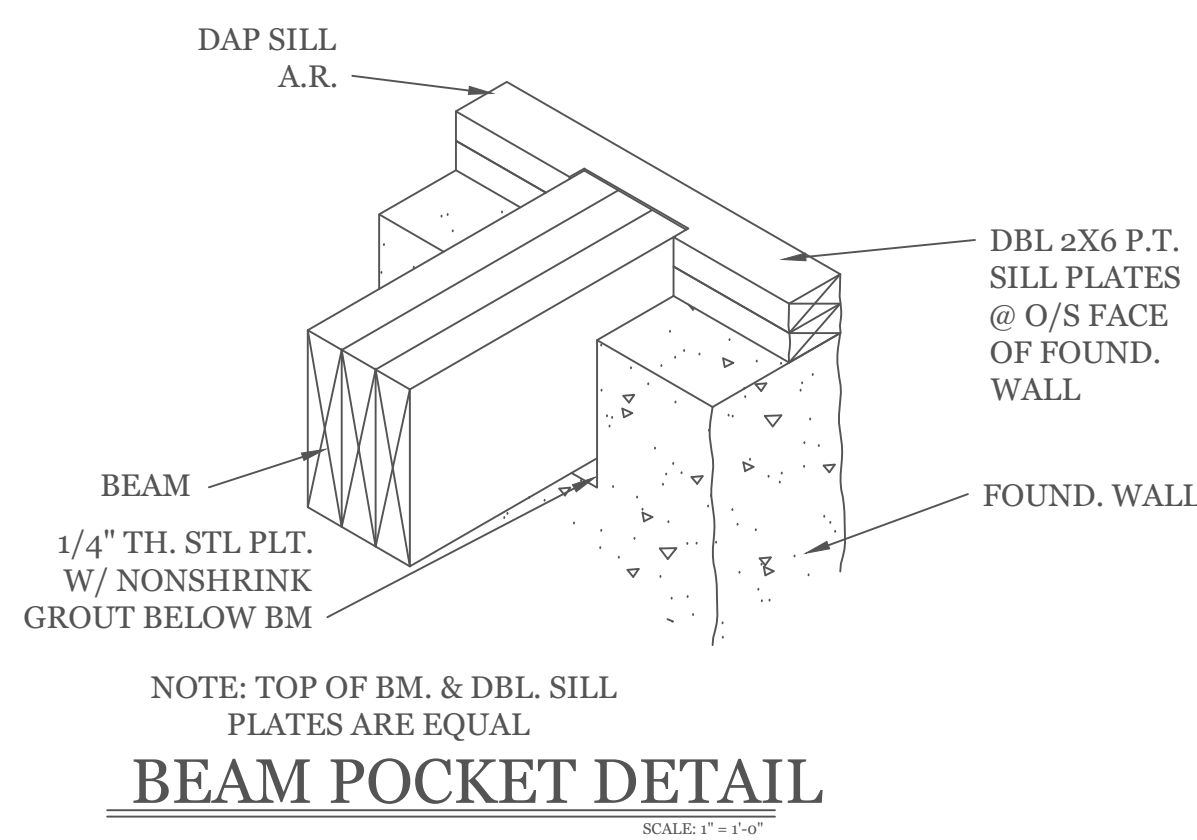
Sheet 1 OF 5

1

TYPICAL FOUNDATION DETAILS



- SYMBOL SCHEDULE;**
- Ⓥ VENT
 - Ⓢ SMOKE AND CARBON DETECTOR
 - Ⓢ SMOKE DETECTOR
 - Ⓜ HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK



NOTES:

- FOUNDATION NOTES:
- HOUSE FOUNDATION- 10"X7'-10" POUR ON 20"X10" CONTINUOUS KEYED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL
 - GARAGE FOUNDATION- 8"X4'-0" MINIMUM POUR ON 16"X8" CONTINUOUS KEYED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
 - BASEMENT FLOOR-MINIMUM 3" CONCRETE (3,500 PSI)
 - GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500 PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TOWARD OVERHEAD GARAGE DOOR
 - ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
 - ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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UNIT 'A'
HIGGINS FARM AT
SALISBURY HILL

FOUNDATION PLAN
PORTAL FRAME
DETAILS

UNIT 'A' GR

DATE: 9/20/20 R-5/5/23

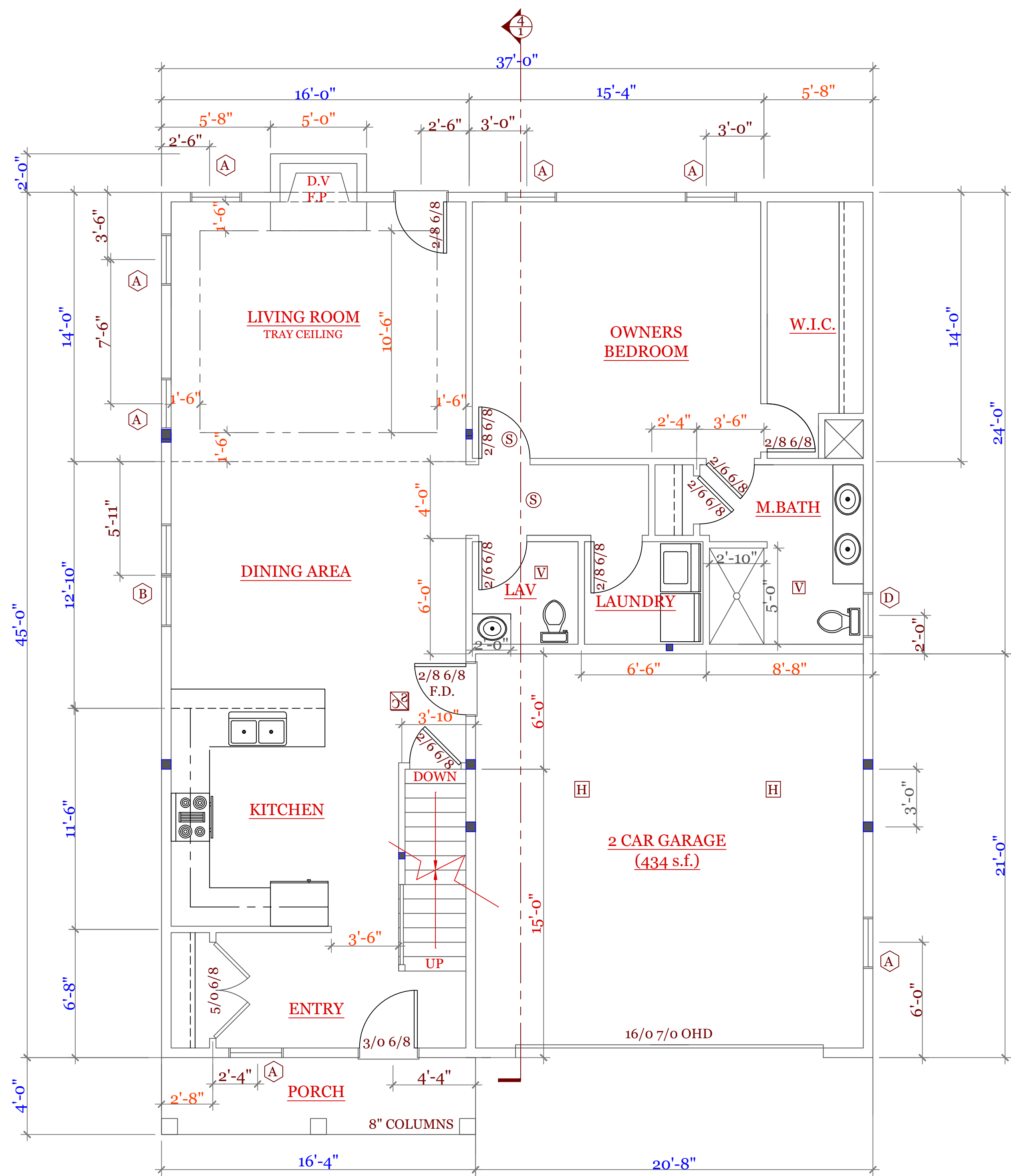
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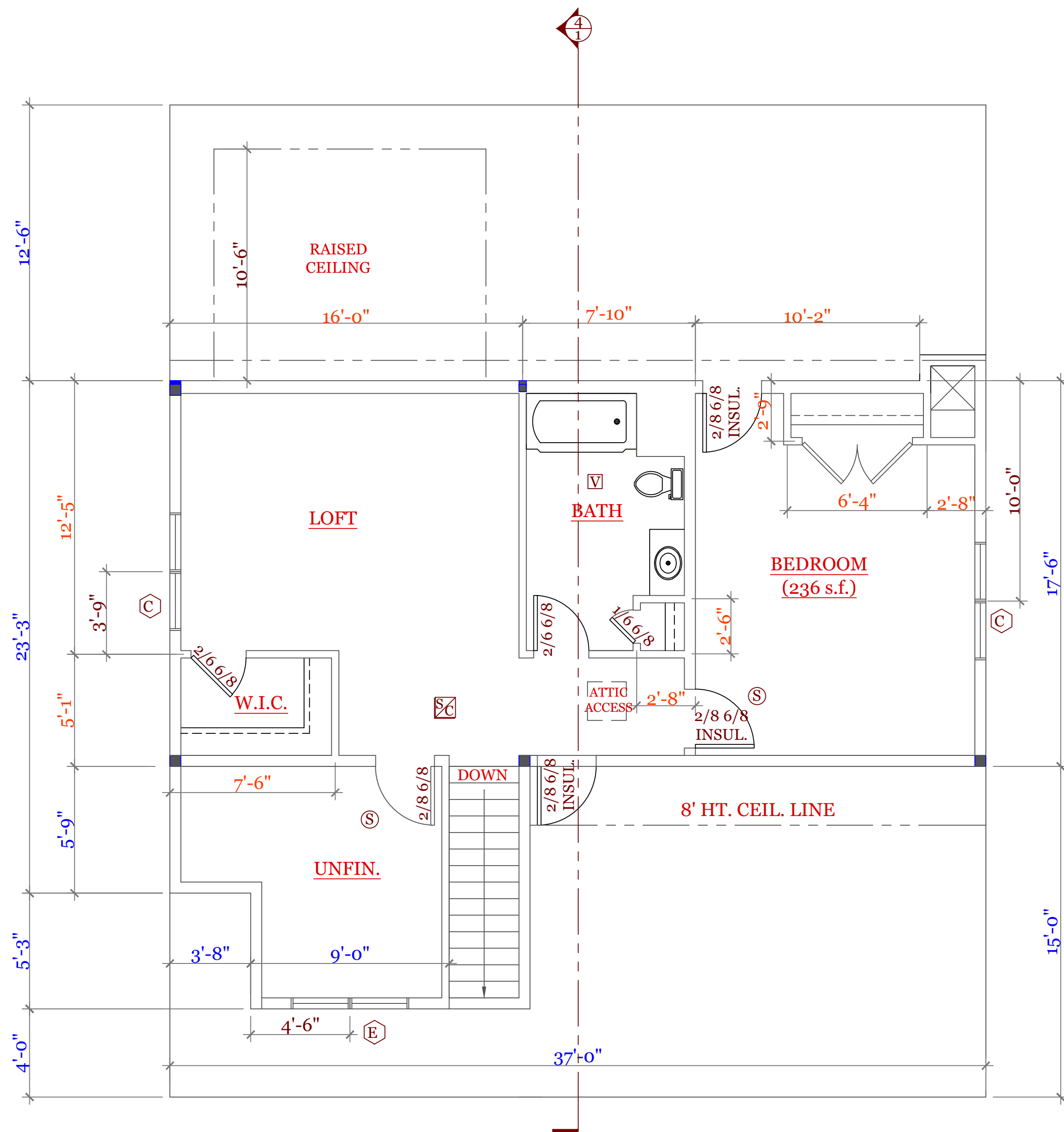
CHECKED BY: MJB

Sheet 2 OF 5

2



FIRST FLOOR PLAN (1231 s.f. GARAGE 434 s.f.)



SECOND FLOOR PLAN (568 s.f.) ATTIC (687 s.f.)

WINDOW & EXTERIOR DOOR SCHEDULE: HARVEY			
INDEX	QUA	CATALOG	ROUGH OPENING
A	7	10000-1	2'-8 1/4" X 5'-6 1/4"
B	1	11000-1	5'-4 3/4" X 5'-6 1/4"
C	2	12000-1	5'-4 1/2" X 4'-9 1/4"
D*	1	13000-1 (T)	2'-8 1/8" X 2'-8 1/8"
E	1	A2281	5'-3 1/4" X 2'-0 5/8"
F	1	15000-1	5'-4 1/2" X 6'-10 1/2"
G	1	16000-1	3'-2 1/2" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS
*D WINDOW TEMPERED IN BATH

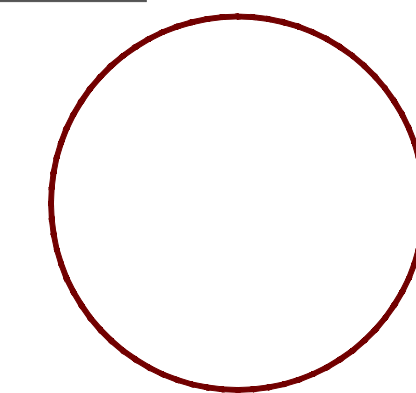
NOTES:

SYMBOL SCHEDULE:

- ☐ VENT
- ☒ SMOKE AND CARBON DETECTOR
- ⊙ SMOKE DETECTOR
- ⊕ HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK

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UNIT 'A'
HIGGINS FARM AT
SALISBURY HILL

FIRST & SECOND
FLOOR PLAN
WINDOW SCHEDULE

UNIT 'A' GR

DATE: 9/20/22 R-5/5/23

SCALE: 1/4"=1'-0"

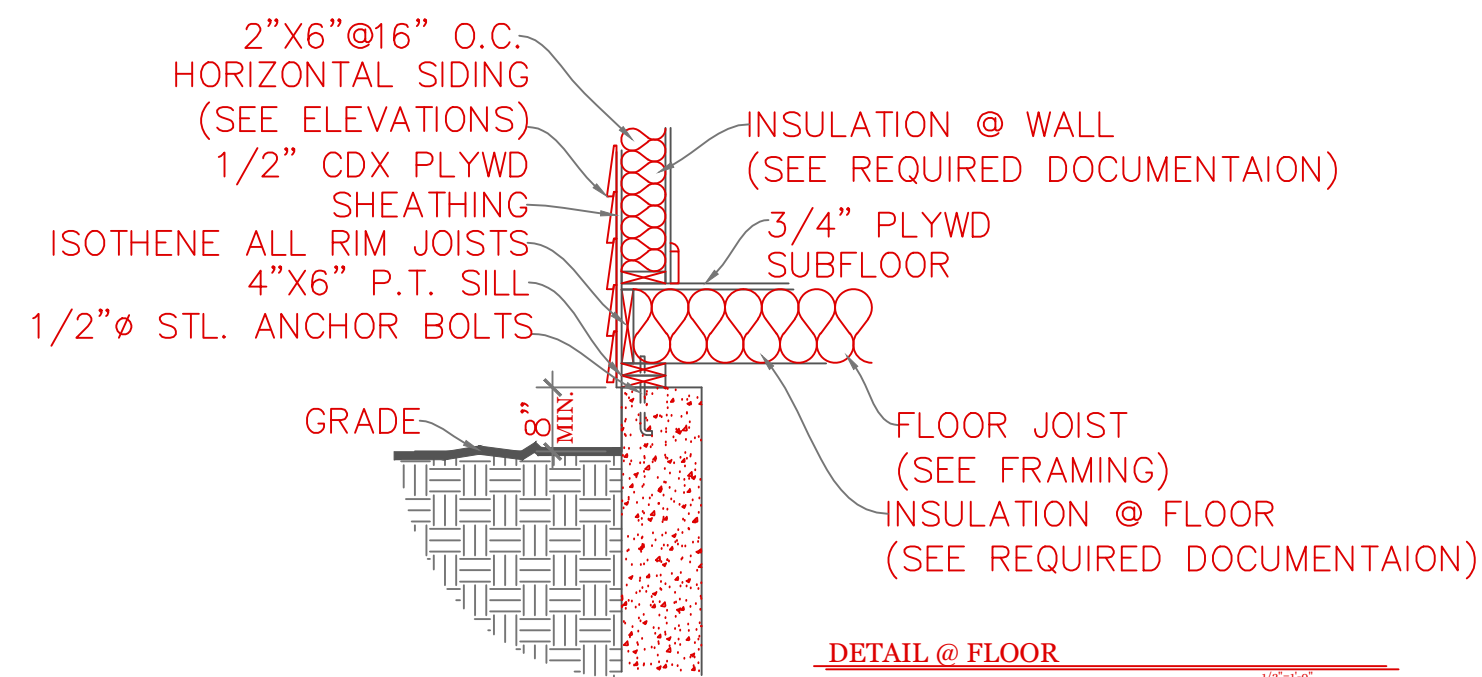
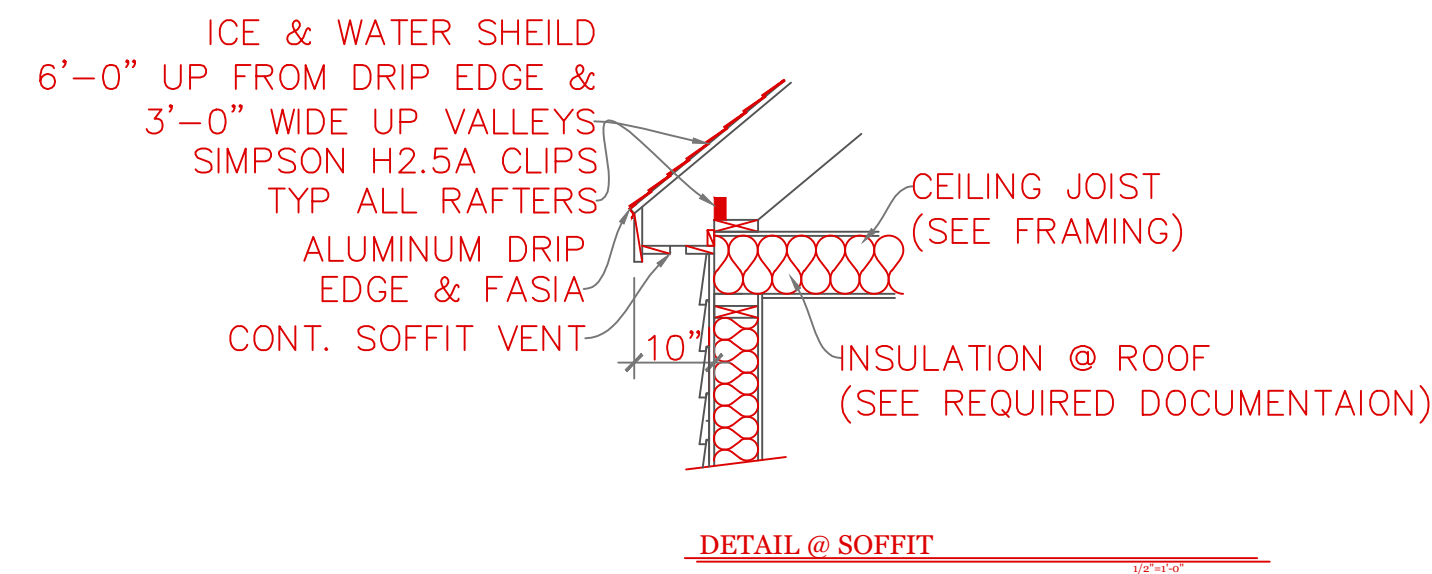
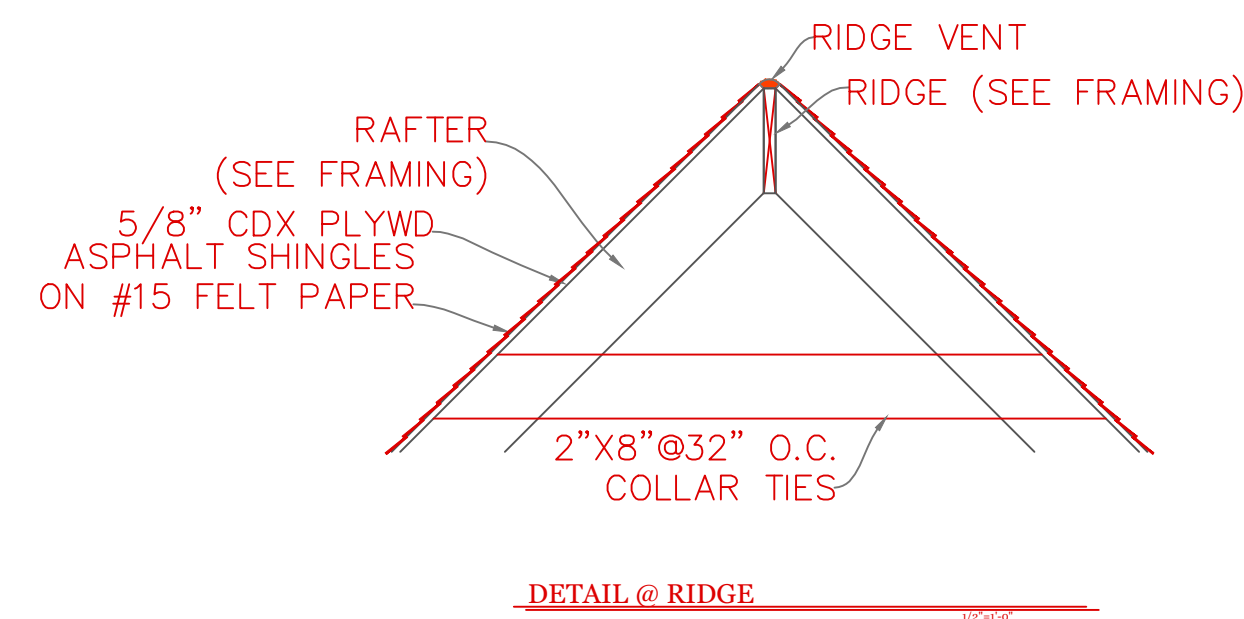
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Sheet 3 OF 5

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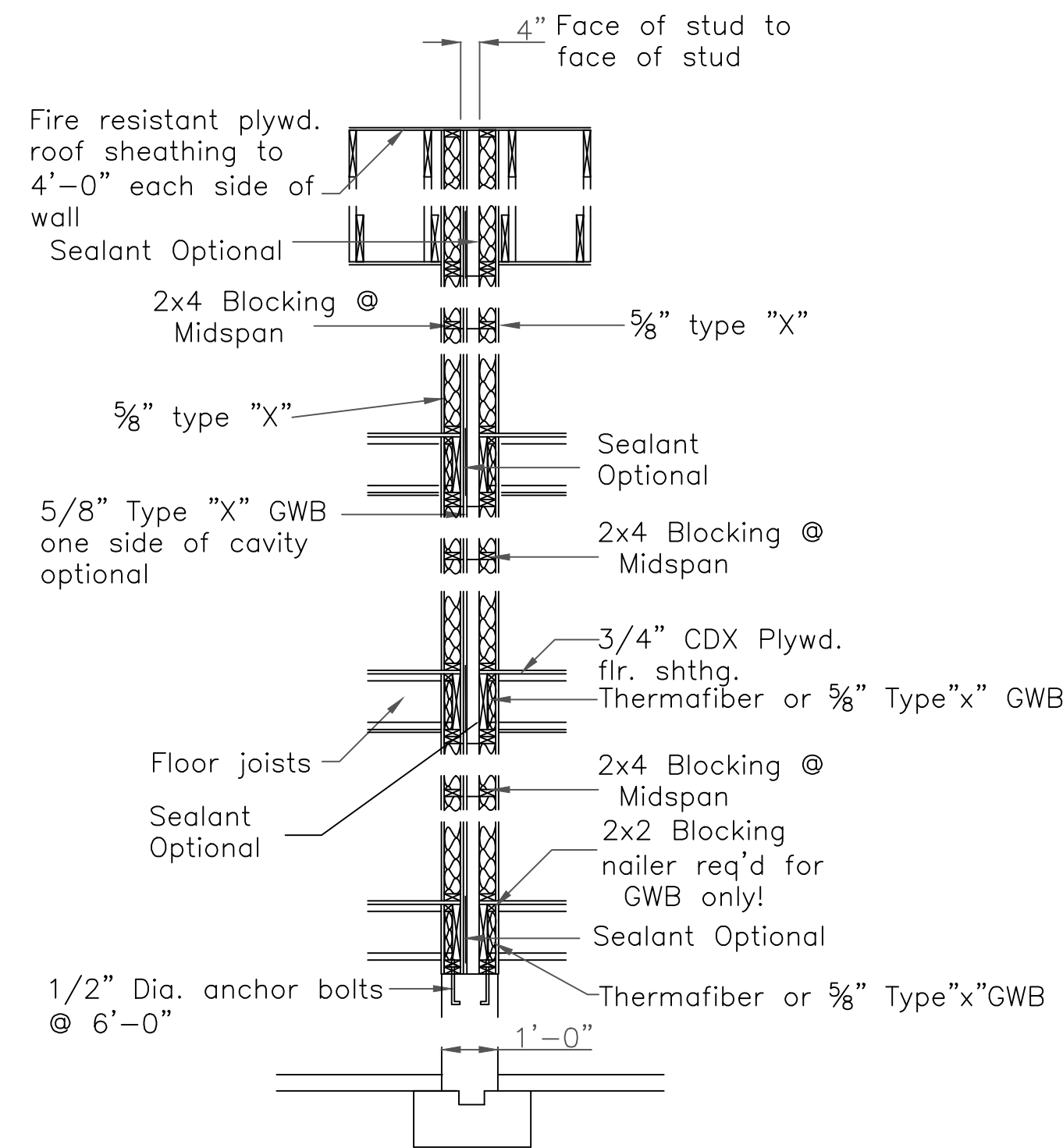
TYPICAL BUILDING SECTION



CONSTRUCTION SCHEDULE:		(UNLESS NOTED OTHERWISE ON PLAN)
1 RIDGE BOARD:	2X12	
2 ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT	
3 ROOF SHEATHING	1/2" O.S.B. w/ 15# ROOF FELT	
4 ROOF RAFTER:	SEE FRAMING	
5 COLLAR TIES:	1X8 @ 32" O.C.	
6 DRIP EDGE	ALUMINUM DRIP EDGE	
7 SOFFIT:	CONT. SOFFIT VENT	
8 CEILING JOIST	SEE FRAMING	
9 ATTIC INSULATION	R-38	
10 EXT WALL:	2"x6" @ 16" O.C.	
11 EXT. SHEATHING	1/2" O.S.B. w/ HOUSE WRAP	
12 EXT. FINISH	SEE ELEVATIONS	
13 INSULATION@WALL	R-21	
14 INTERIOR WALL	2"x4"@16"O.C.	
15 SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED	
16 JOIST:	SEE FRAMING.	
17 SILL:	2"x6" P.T. SILL W/ 2X6 KD TOP PLATE	
18 INSULATION @ FLOOR	R-30	
19 ANCHOR:	1/2"Ø STL ANCHOR BOLTS	
20 BEAM:	SEE FRAMING PLAN	
21 COLUMN:	3 1/2" L.C.	
22 FND. WALL:	10"x7'-10" CONC. WALL	
23 SLAB:	SEE FOUNDATION NOTES	
24 FOOTING:	20"x10" CONT. KEYED FTNG	
25 CONC. PAD:	30"x30"x15" CONC. PAD	

NOTES: -ISOTHENE ALL RIM JOISTS (OPTIONAL)
 -ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS
 -SIMPSON H2.5A CLIPS TYP ALL RAFTERS

DUPLEX BUILDING ONLY



A Fire Resistance rated wall section
 For more information see U.L. LISTING --- U-305 3/8"-1'-0"
 STC Rating = 56
 Bearing wall Rating = 1 HR.

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^d	SKYLIGHT ^d U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+ ^h	13/17	30g	15/19	10, 2 ft	15/19

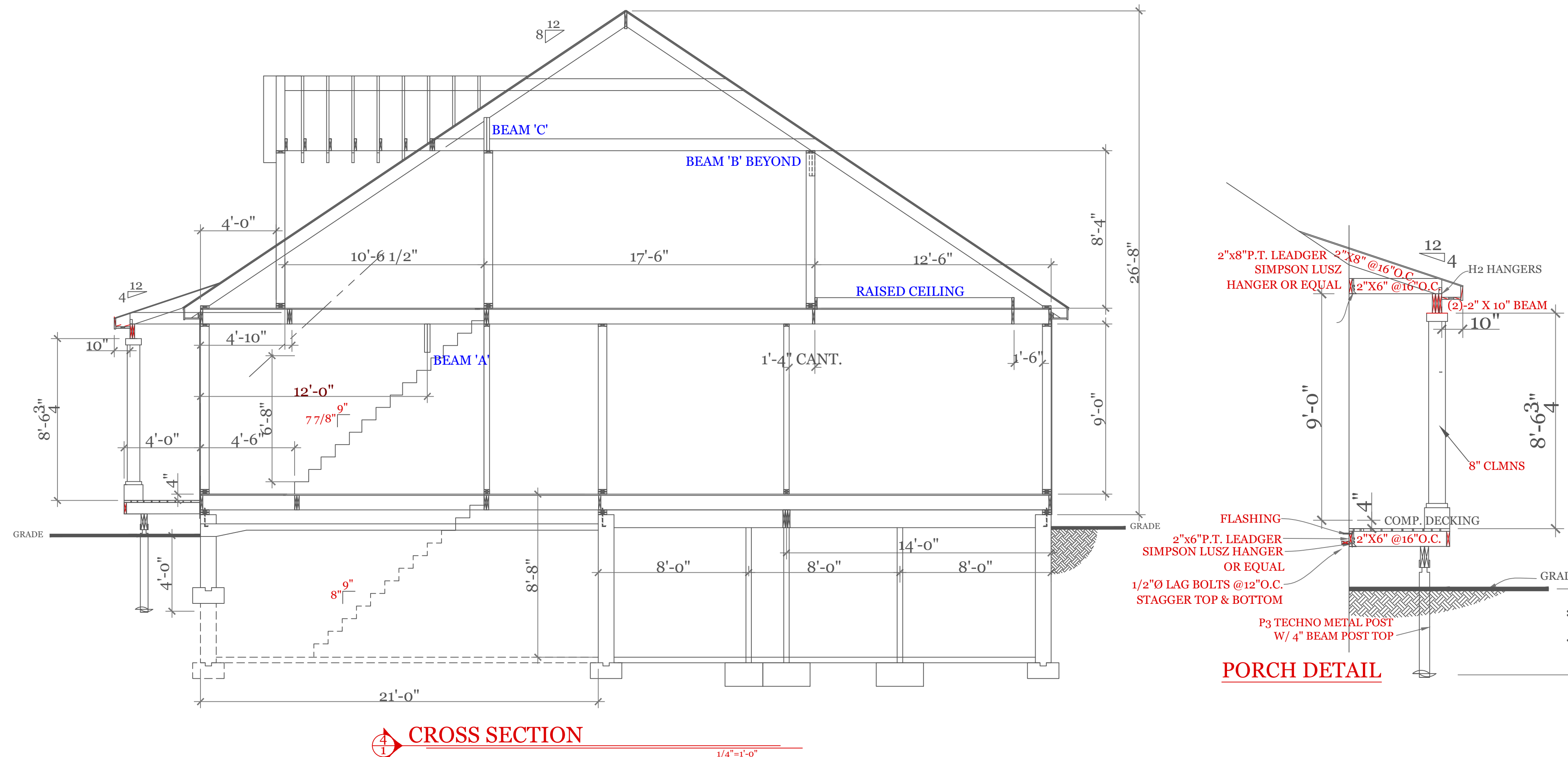
2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTES 780 CMR 9TH EDITION

For SI: 1 foot = 304.8 mm.

- a. R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.
- j. For impact rated fenestration complying with Section R301.2.1.2 of the *International Residential Code* or Section 1608.1.2 of the *International Building Code*, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	\$5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	\$5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)



PORCH DETAIL

NOTES:

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UNIT 'A'
 HIGGINS FARM AT
 SALISBURY HILL

BUILDING SECTIONS & DETAILS

UNIT 'A' GR

DATE: 9/20/22 R-5/5/23

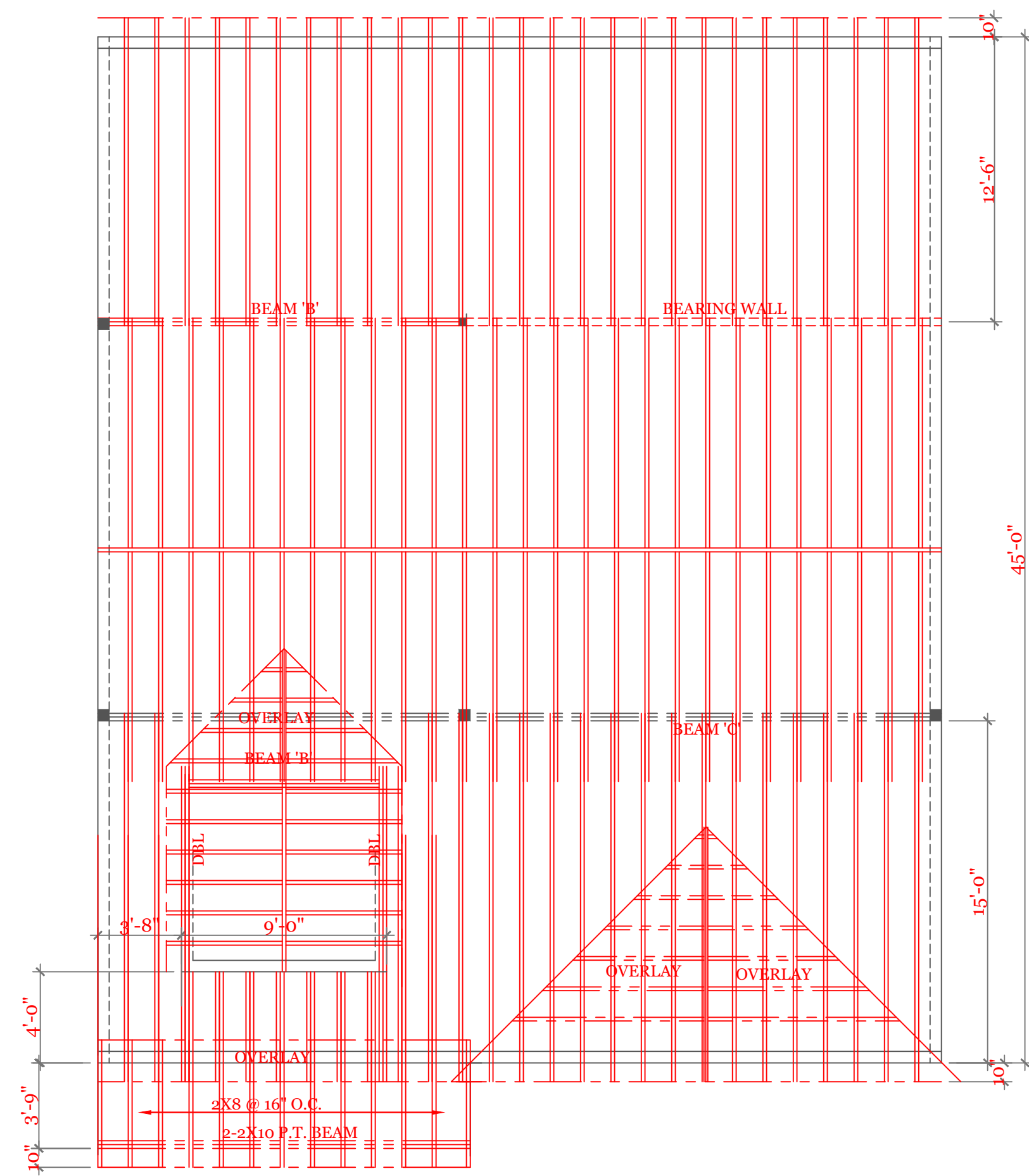
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DRAWN BY: RCS

CHECKED BY: MJB

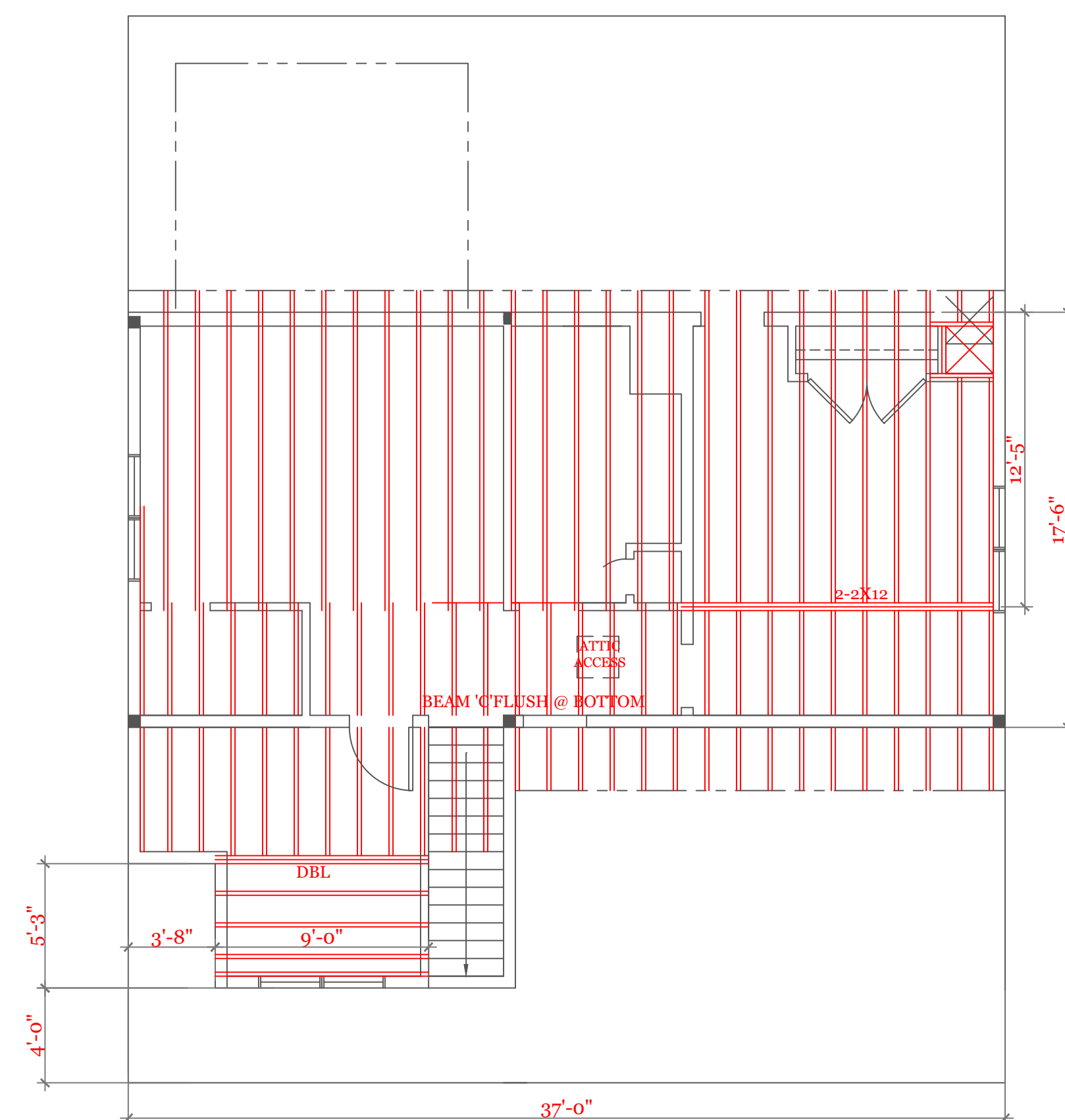
Sheet 4 OF 5

4

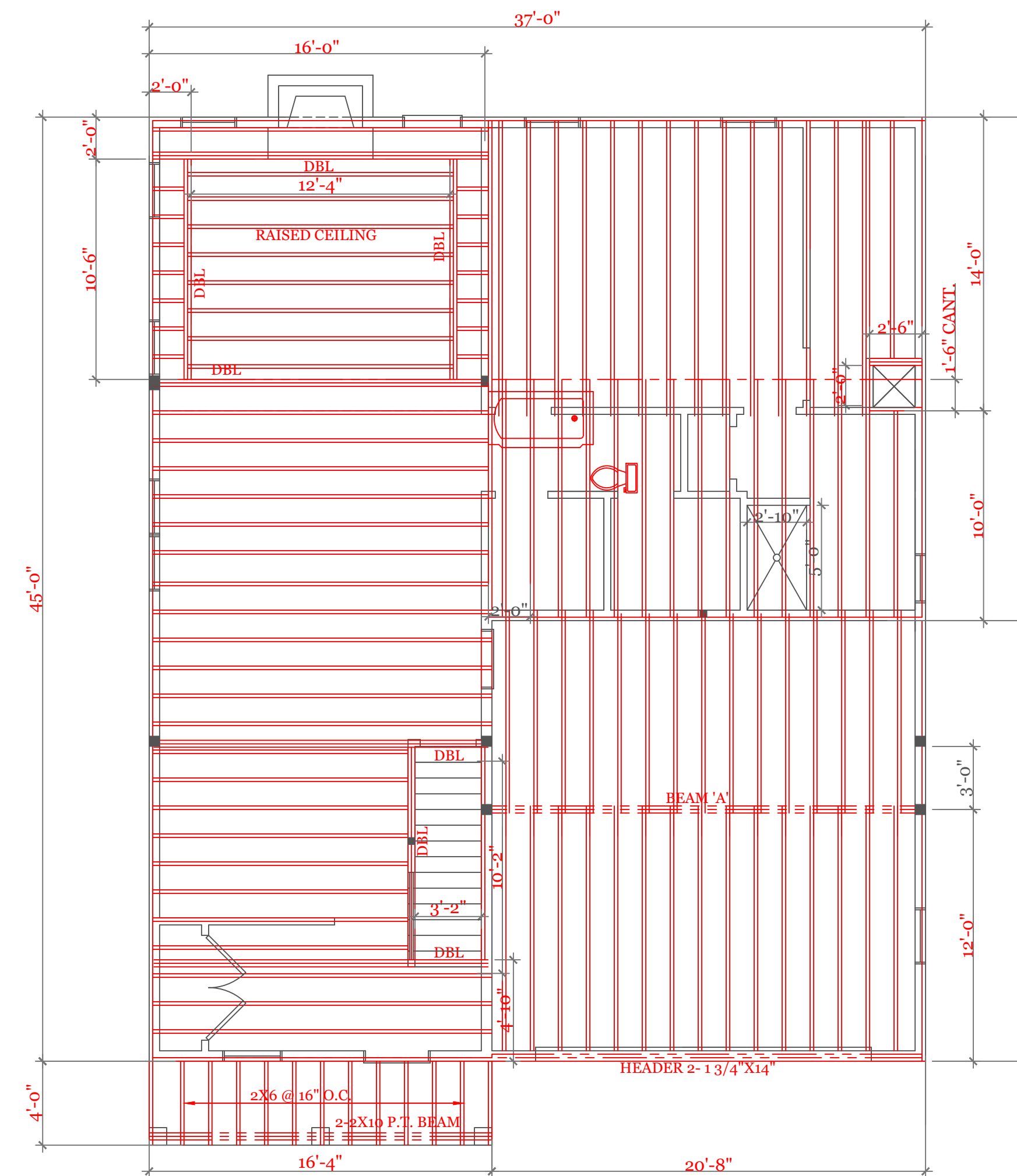


ROOF FRAMING (2"X8"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"

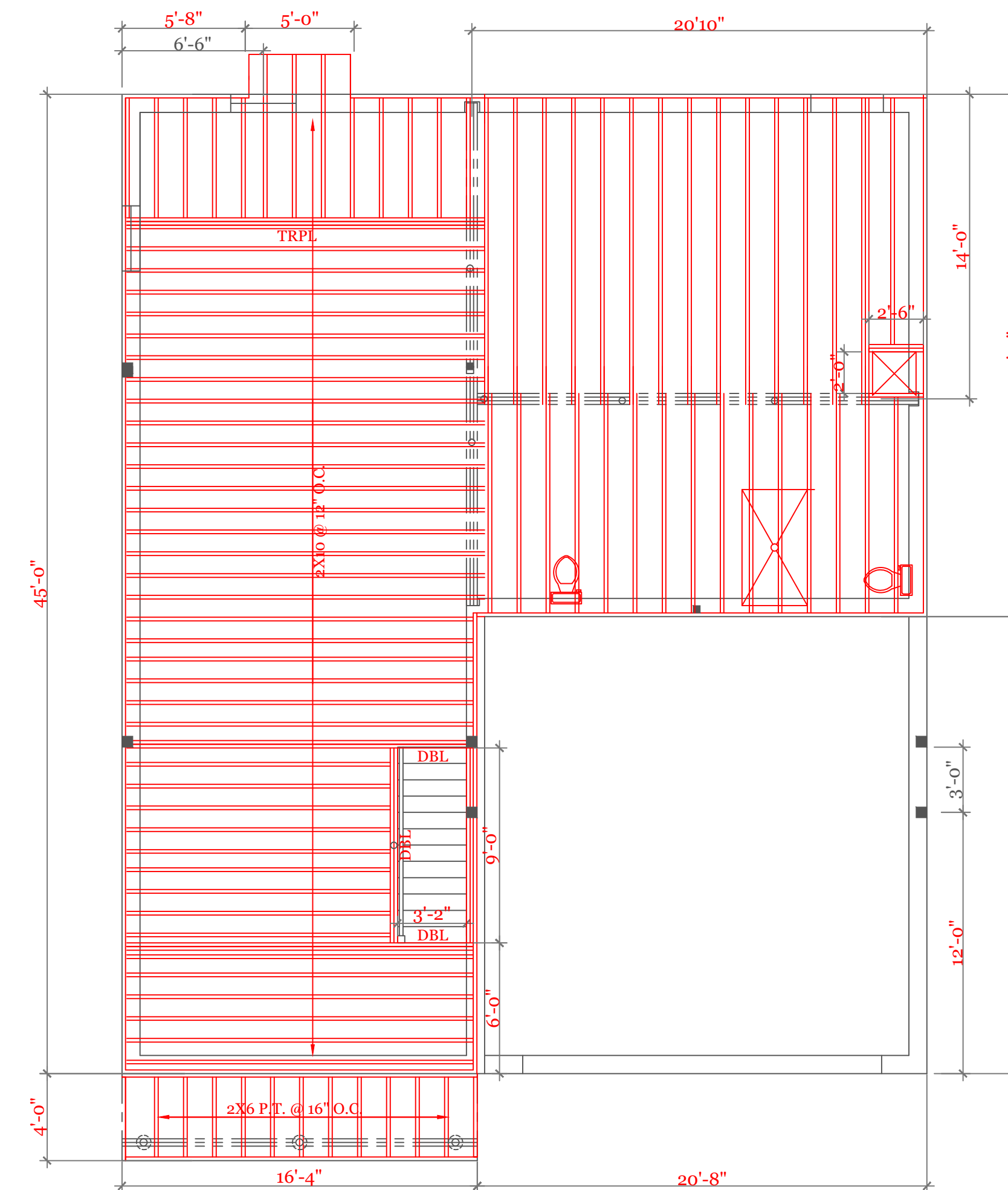
BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	3 1/2" X 18" LVL	22'-0"	315	420	473	681
B	3 1/2" X 16" LVL	16'-0"	550	660	1296	1320
C	5 1/4" X 18" LVL	21'-0"	800	960	1065	1298



CEILING FRAMING (2"X8"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"



SECOND FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"

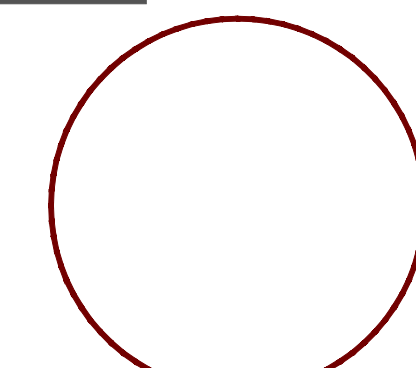


FIRST FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)
OPTION 2X12 @ 16" O.C.
3/16" = 1'-0"

NOTES:

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UNIT 'A'
HIGGINS FARM AT
SALISBURY HILL

FRAMING PLANS
BEAM SCHEDULE

UNIT 'A' GR

DATE: 9/20/22 R-5/5/23

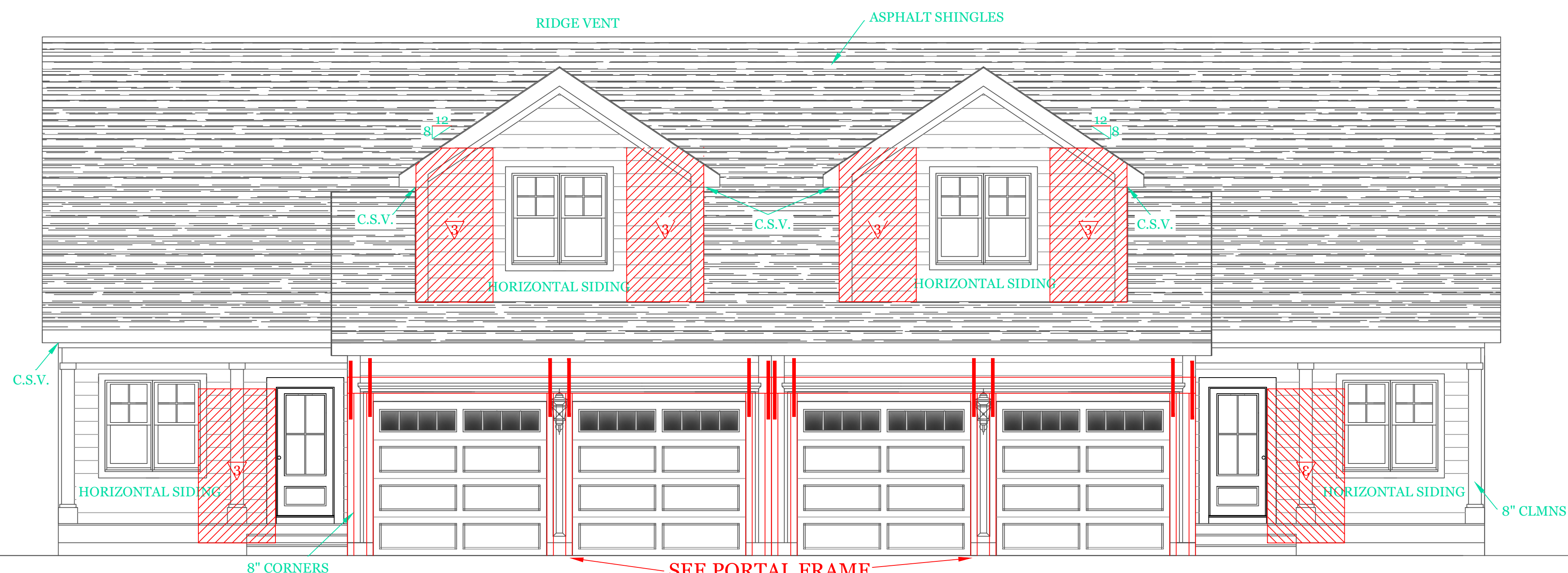
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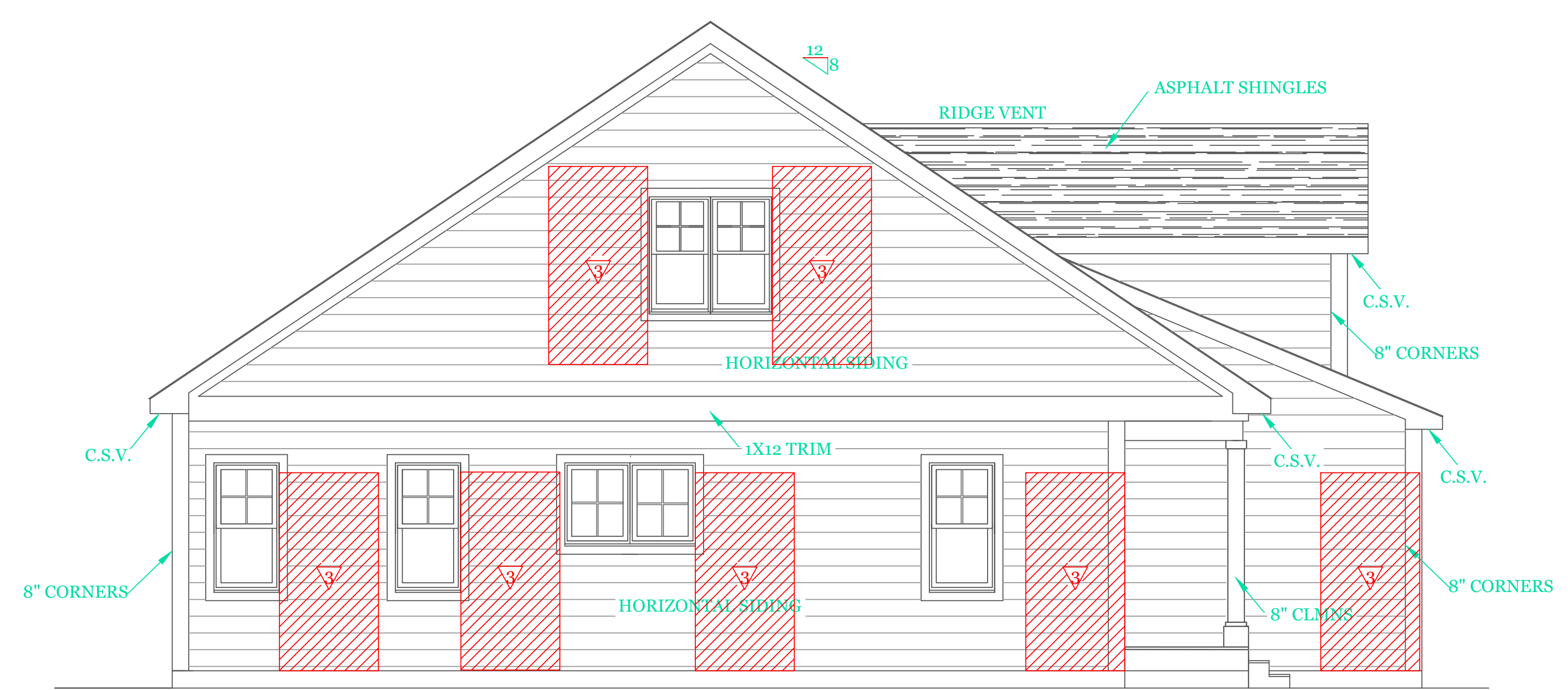
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Sheet 5 OF 5

5



FRONT ELEVATION (1936 s.f.)
 3 WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING PANELS INSTALLED VERTICALLY W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS



LEFT SIDE ELEVATION

TABLE 402.1.2
 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{d,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^g R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTES 780 CMR 9TH EDITION

- For SI: 1 foot = 304.8 mm.
- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
 - The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 - "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
 - There are no SHGC requirements in the Marine Zone.
 - Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
 - Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
 - The second R-value applies when more than half the insulation is on the interior of the mass wall.
 - For impact rated fenestration complying with Section R301.21.2 of the *International Residential Code* or Section 1608.1.2 of the *International Building Code*, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3-2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	\$5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	\$5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)

NOTES:
 GENERAL NOTES:
 1. These plans are drawn as required for construction by an experienced licensed general contractor.
 2. The General contractor shall fully comply with the 9TH Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
 3. Written dimensions shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings. Any defects in the construction documents shall be brought to the attention of this office before proceeding with work. Reasonable time not allowed this office to correct defects shall place the burden of cost and liability from such defects upon the contractor.

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UNIT 'B' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

FRONT & LEFT SIDE
 ELEVATIONS
 DESIGN CRITERIA

UNIT 'B' DPLX

DATE: 9/21/2022 R5/5

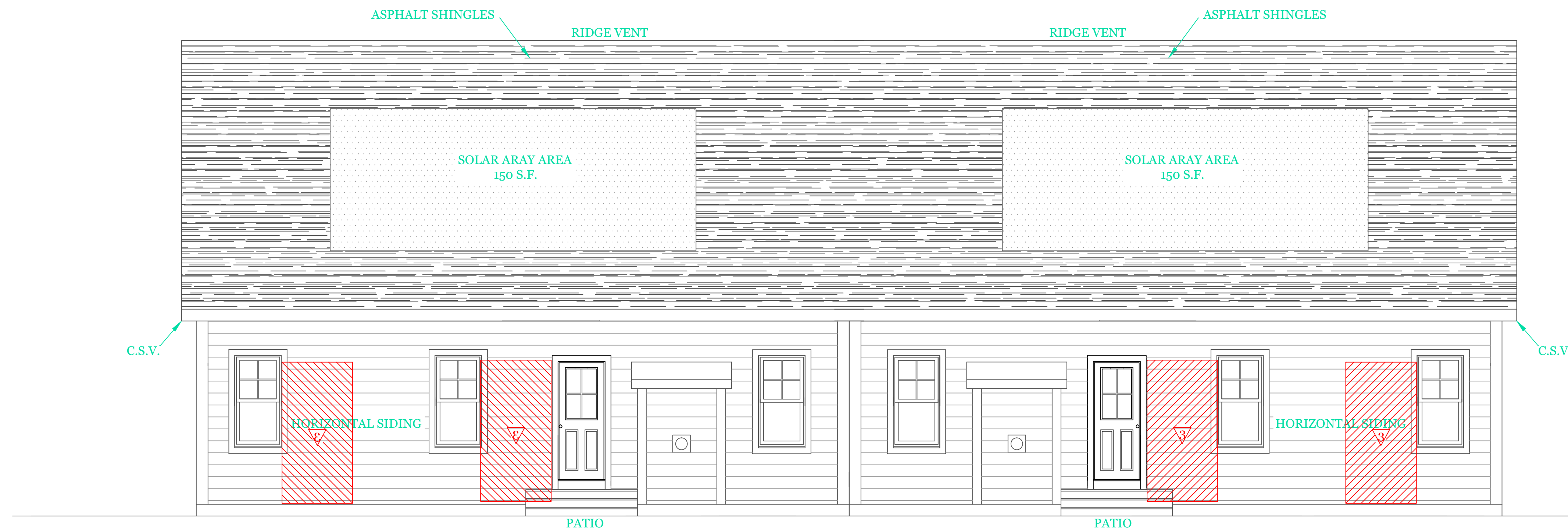
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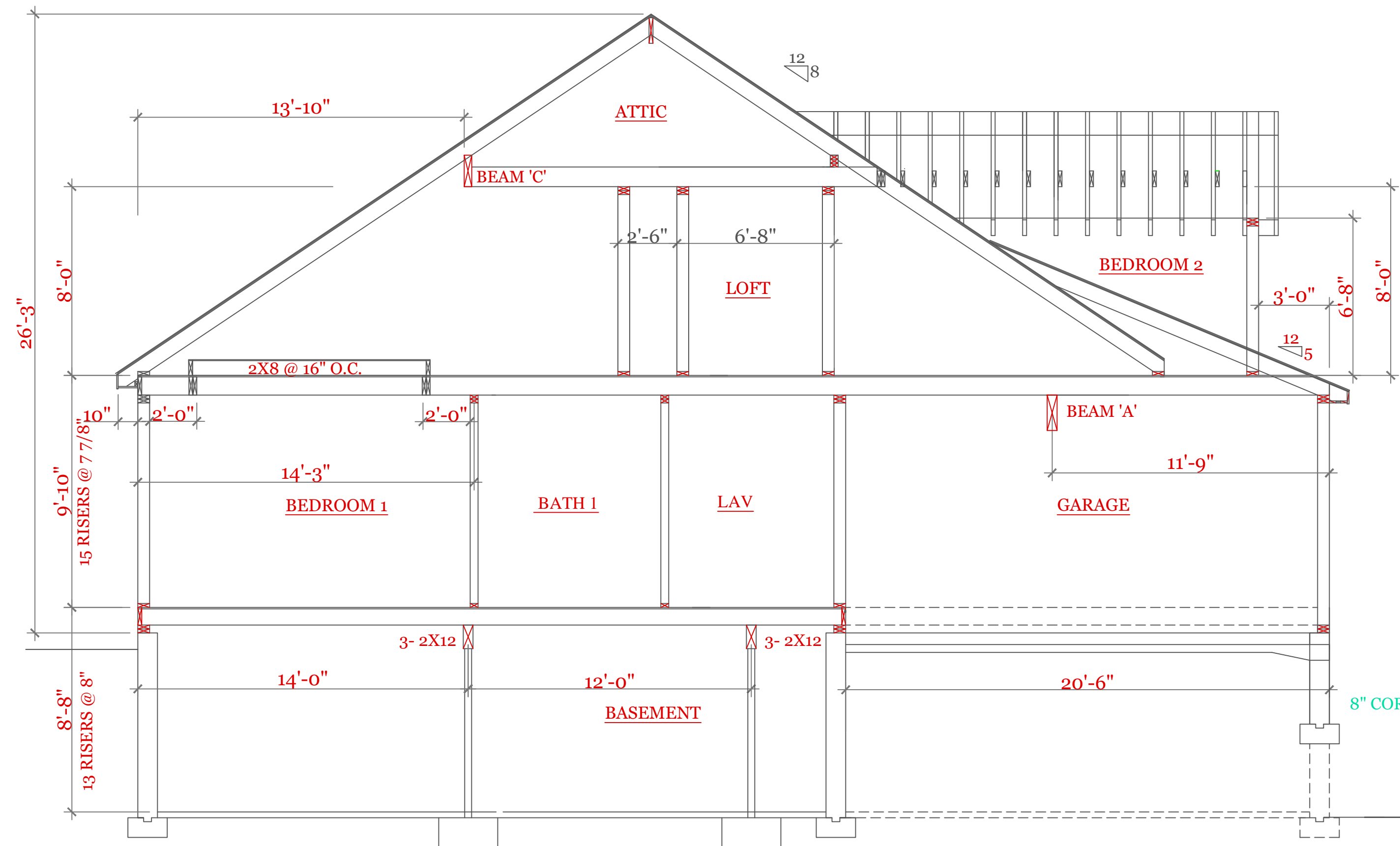
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Sheet 1 OF 8

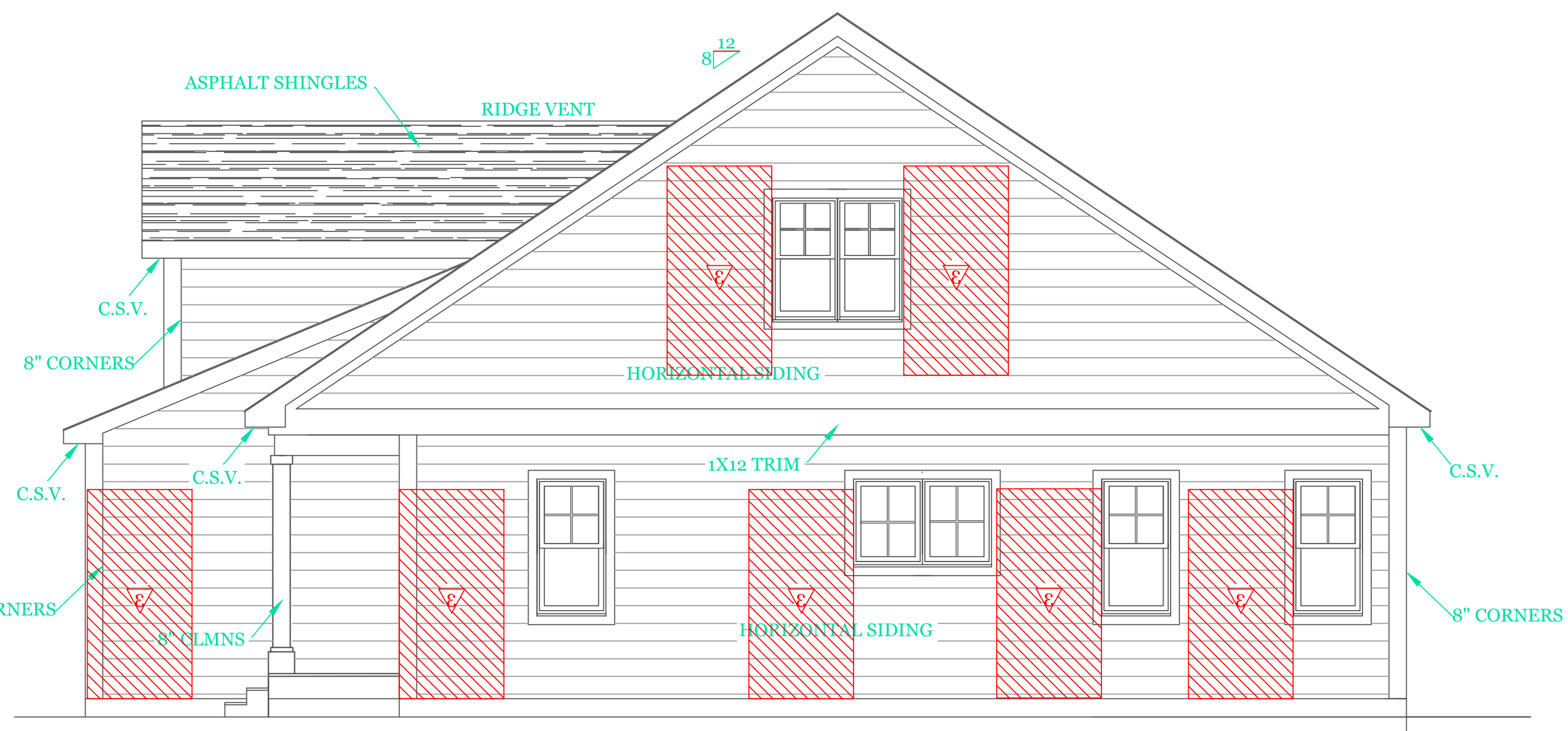
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REAR ELEVATION



CROSS SECTION

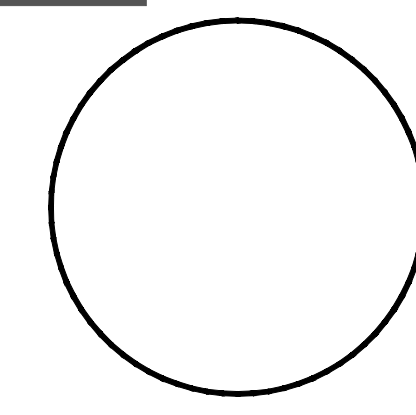


RIGHT SIDE ELEVATION

NOTES:

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UNIT 'B' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

RIGHT & REAR
 ELEVATIONS
 SECTION 1

UNIT 'B' DPLX

DATE: 9/21/2022 R5/5

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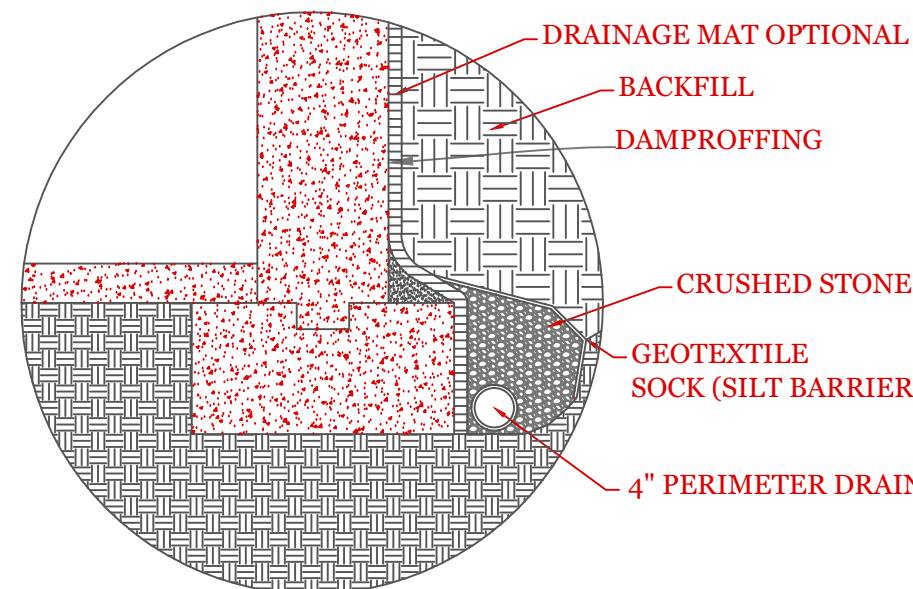
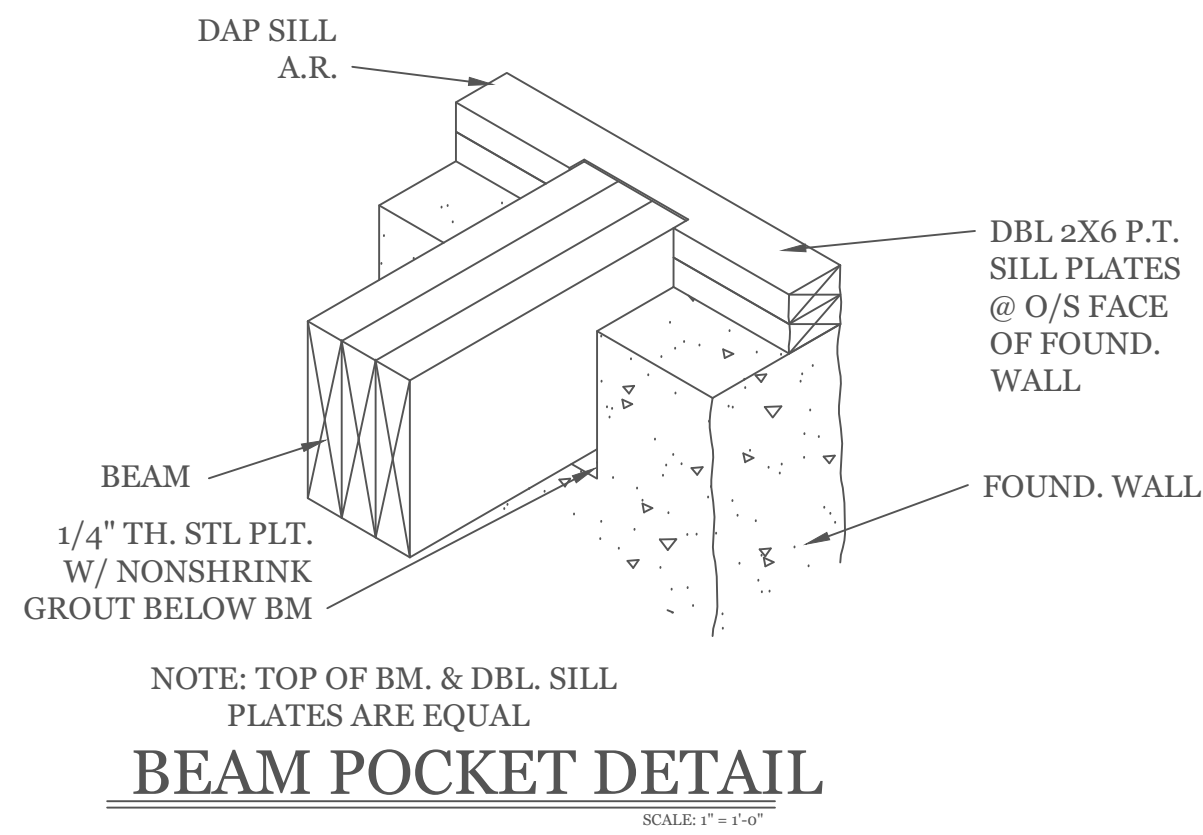
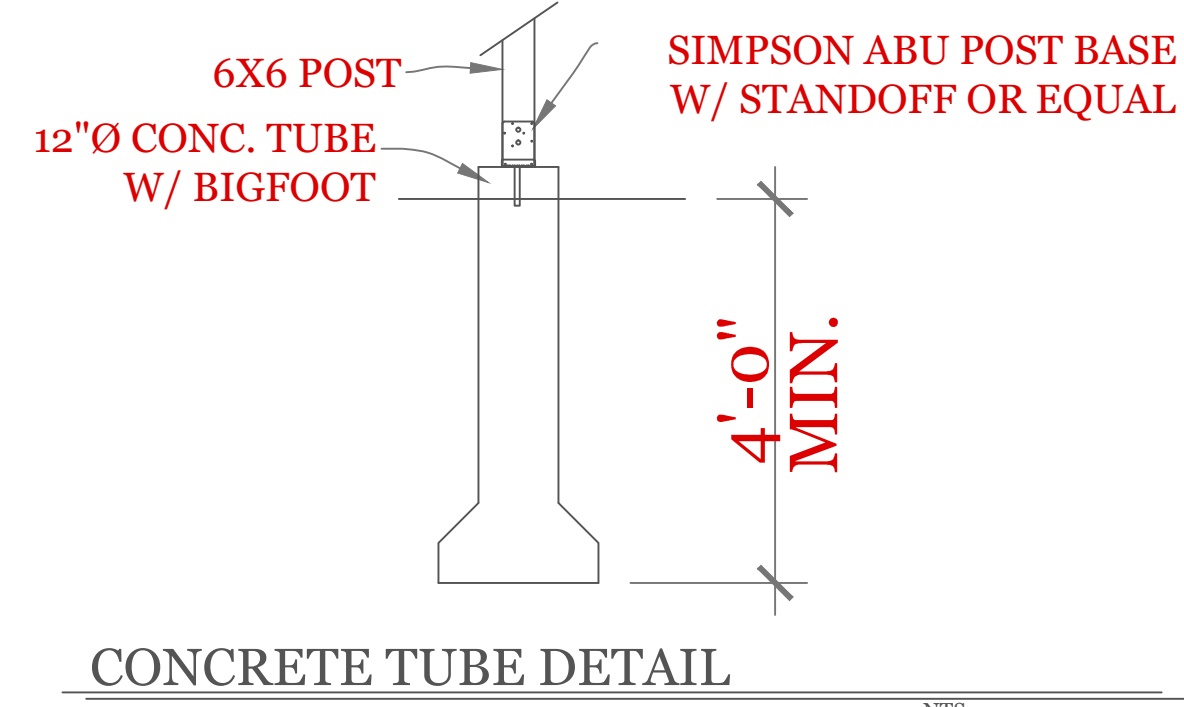
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CHECKED BY: MJB

Sheet 2 OF 8

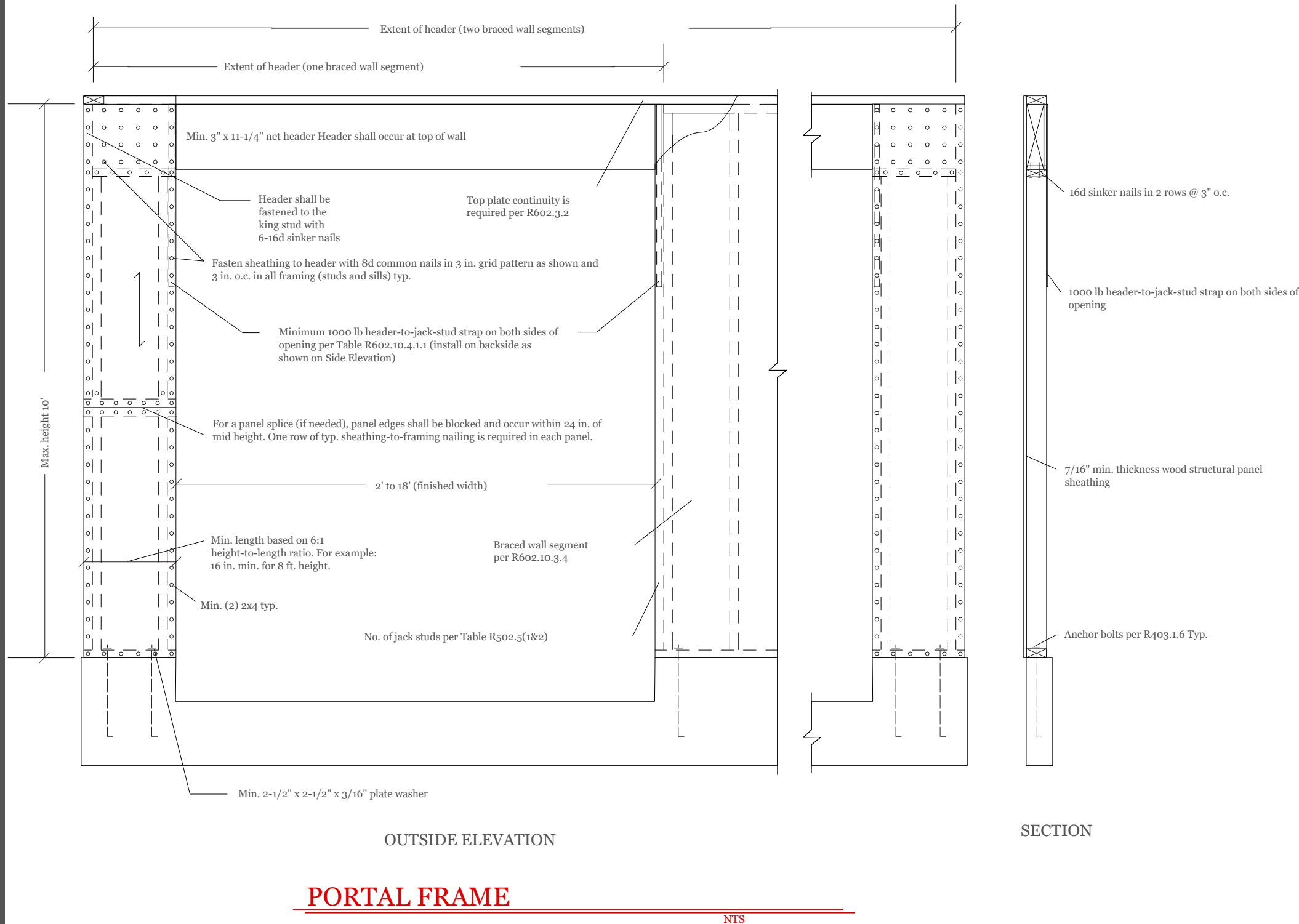
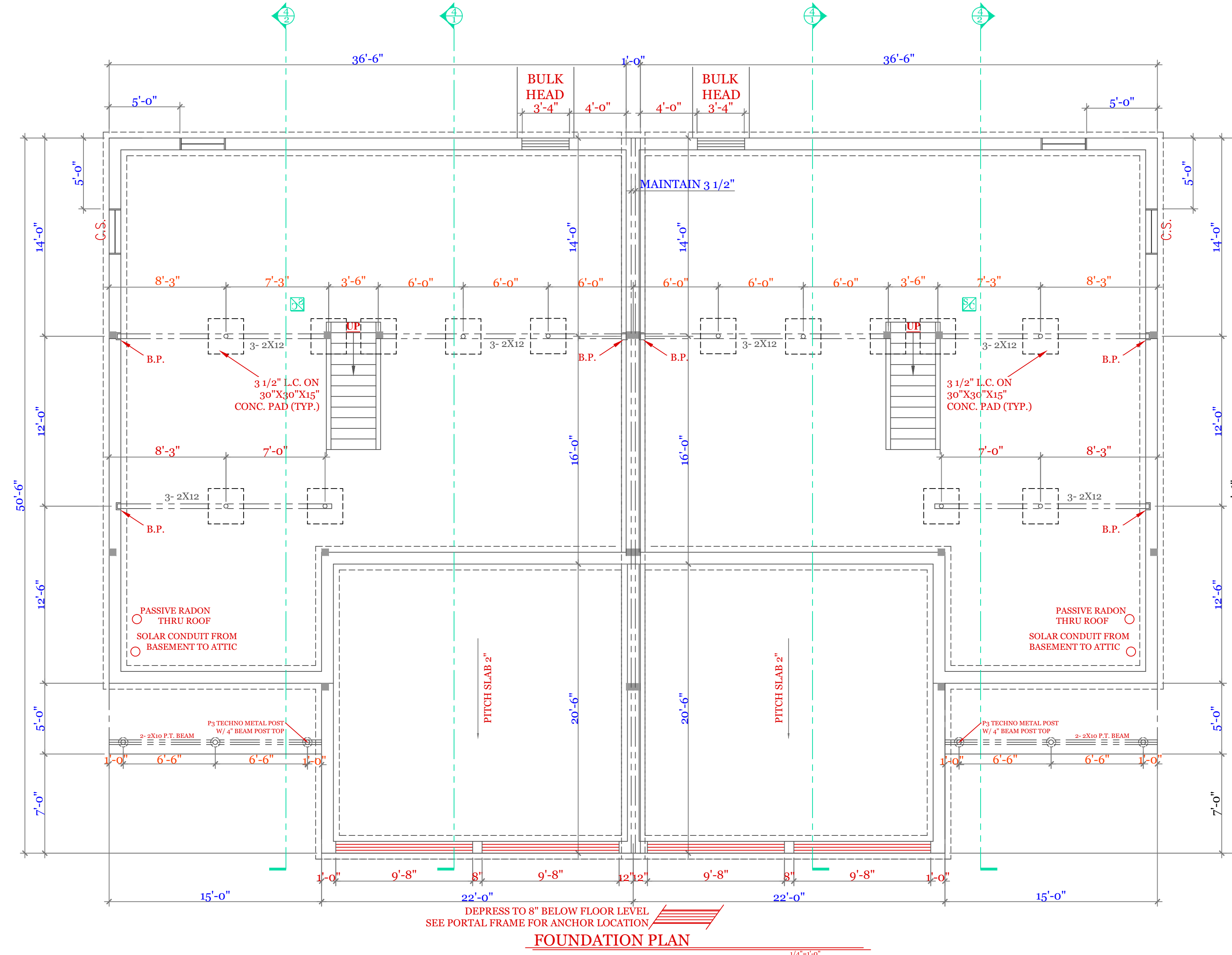
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TYPICAL FOUNDATION DETAILS



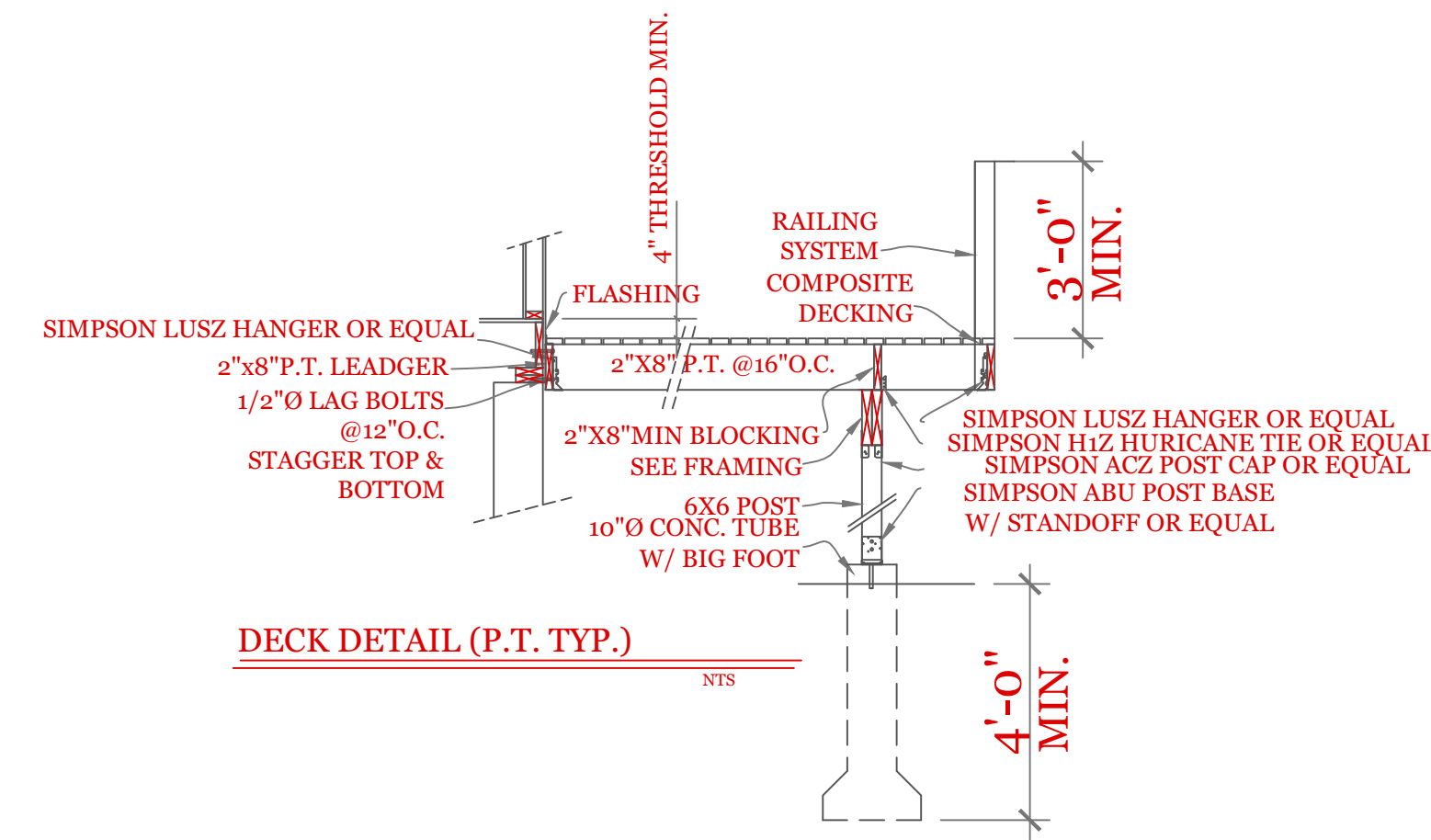
GARAGE FLOOR @ O.H.D.

3/8" = 1'-0"



SYMBOL SCHEDULE:

- V VENT
- SC SMOKE AND CARBON DETECTOR
- S SMOKE DETECTOR
- H HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK



NOTES:

- FOUNDATION NOTES:**
- HOUSE FOUNDATION- 10"x7'-10" POUR ON 20"x10" CONTINUOUS KEYS FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL.
 - GARAGE FOUNDATION- 8"x4'-0" MINIMUM POUR ON 16"x8" CONTINUOUS KEYS FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
 - BASEMENT FLOOR-MINIMUM 4" CONCRETE (3,500 PSI)
 - GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TOWARD OVERHEAD GARAGE DOOR
 - ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
 - ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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**UNIT 'B' DUPLEX
HIGGINS FARM AT
SALISBURY HILL**

**FOUNDATION PLAN
PORTAL FRAME
DETAILS**

UNIT 'B' DPLX

DATE: 9/21/2022 R5/5

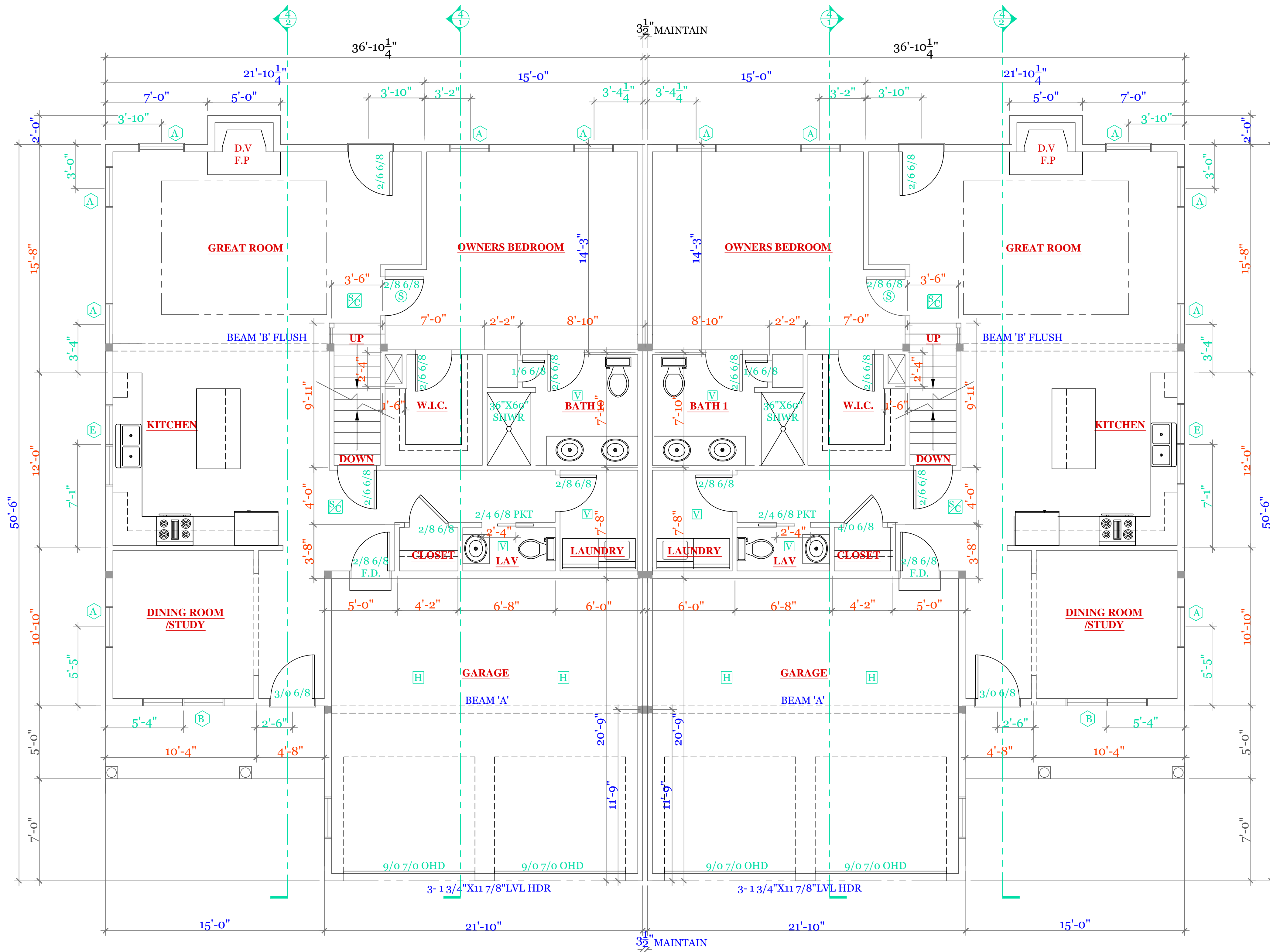
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DRAWN BY: RCS

CHECKED BY: MJB

Sheet 3 OF 8

3



FIRST FLOOR PLAN (1231 s.f. GARAGE 448 s.f.)

WINDOW SCHEDULE: LANSING			
INDEX	QUA	CATALOG	ROUGH OPENING
A	6	10000-1	2'-8 1/8" X 5'-6"
B	1	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	5'-4 1/2" X 4'-9"
D	0	XXX	XXX
E	1	14000-1	4'-0 1/2" X 3'-5 3/8"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

- SYMBOL SCHEDULE:
- ⊕ VENT
 - ⊗ SMOKE AND CARBON DETECTOR
 - ⊙ SMOKE DETECTOR
 - ⊕ HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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**UNIT 'B' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL**

**FIRST FLOOR PLAN
 WINDOW SCHEDULE**

UNIT 'B' DPLX

DATE: 9/21/2022 R5/5

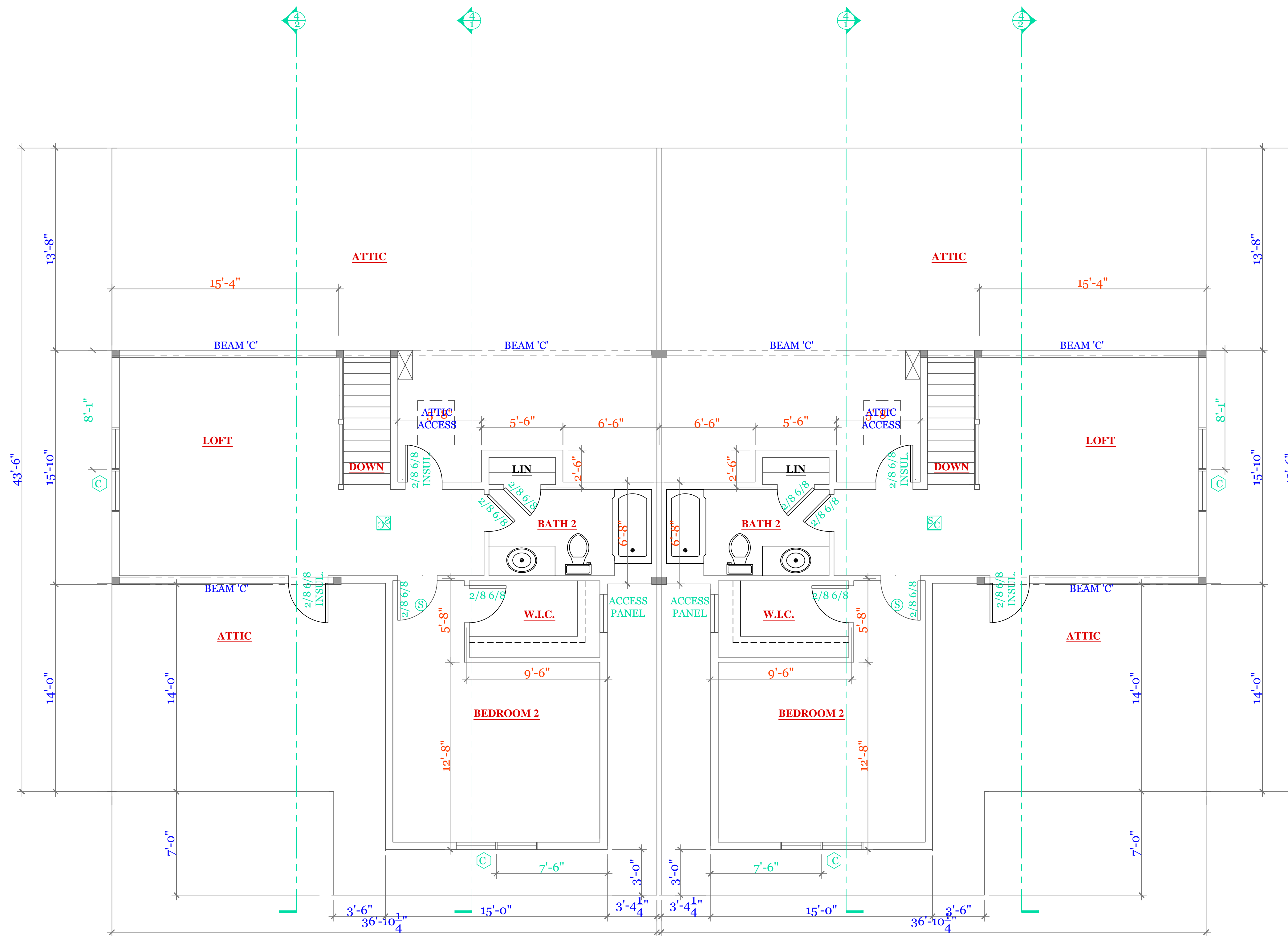
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DRAWN BY: RCS

CHECKED BY: MJB

Sheet 4 OF 8

4



SECOND FLOOR PLAN (705 s.f.)

WINDOW SCHEDULE: LANSING			
INDEX	QUA	CATALOG	ROUGH OPENING
A	6	10000-1	2'-8 1/8" X 5'-6"
B	1	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	5'-4 1/2" X 4'-9"
D	0	XXX	XXX
E	1	14000-1	4'-0 1/2" X 3'-5 3/8"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

SYMBOL SCHEDULE:

- V VENT
- SC SMOKE AND CARBON DETECTOR
- S SMOKE DETECTOR
- H HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK

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UNIT 'B' DUPLEX
 HIGGINS FARM AT
 SALISBURY GREEN

SECOND FLOOR PLAN
 WINDOW SCHEDULE

UNIT 'B' DPLX

DATE: 9/21/2022 R5/5

SCALE: 1/4"=1'-0"

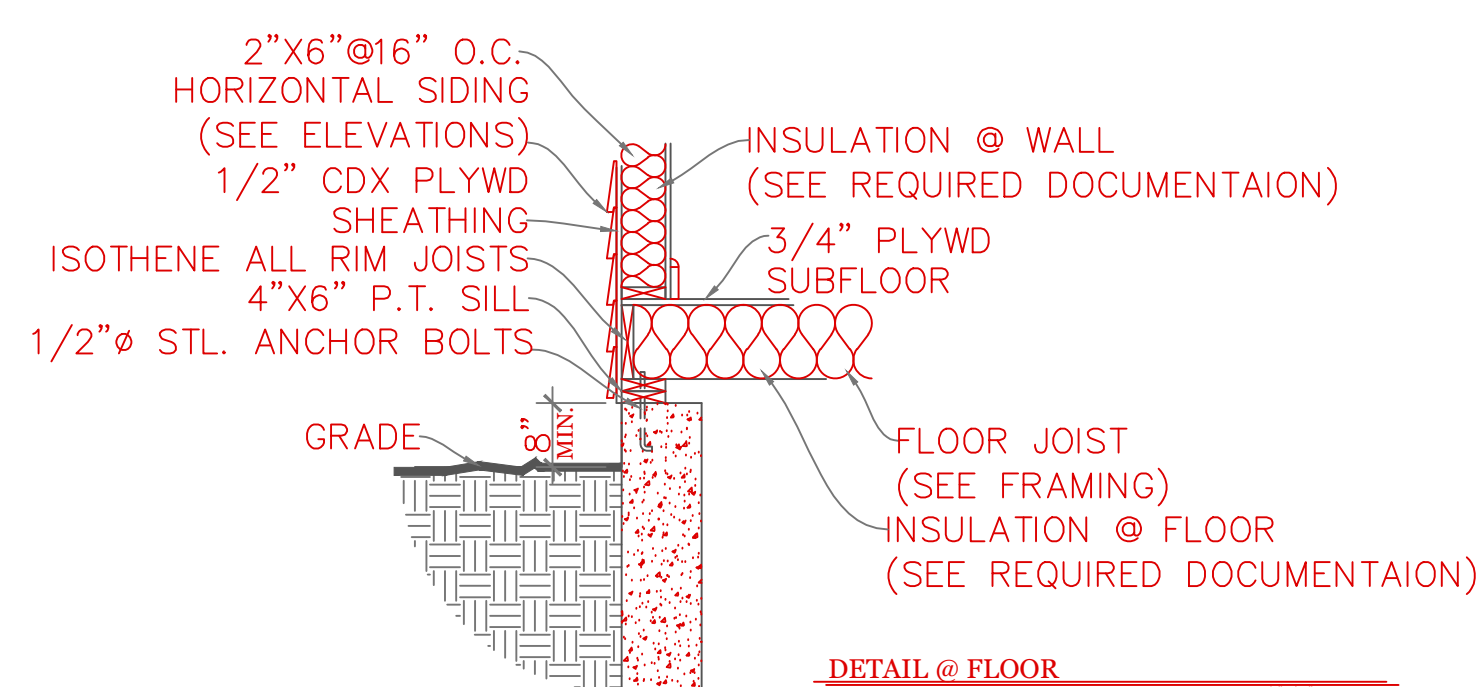
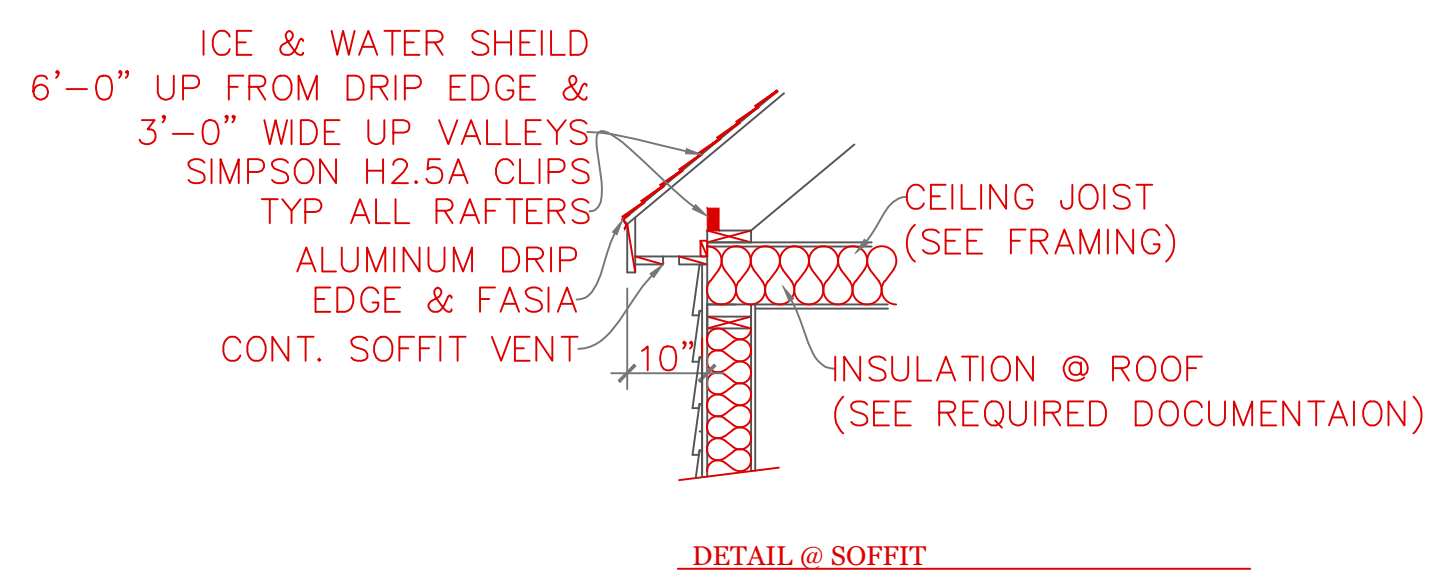
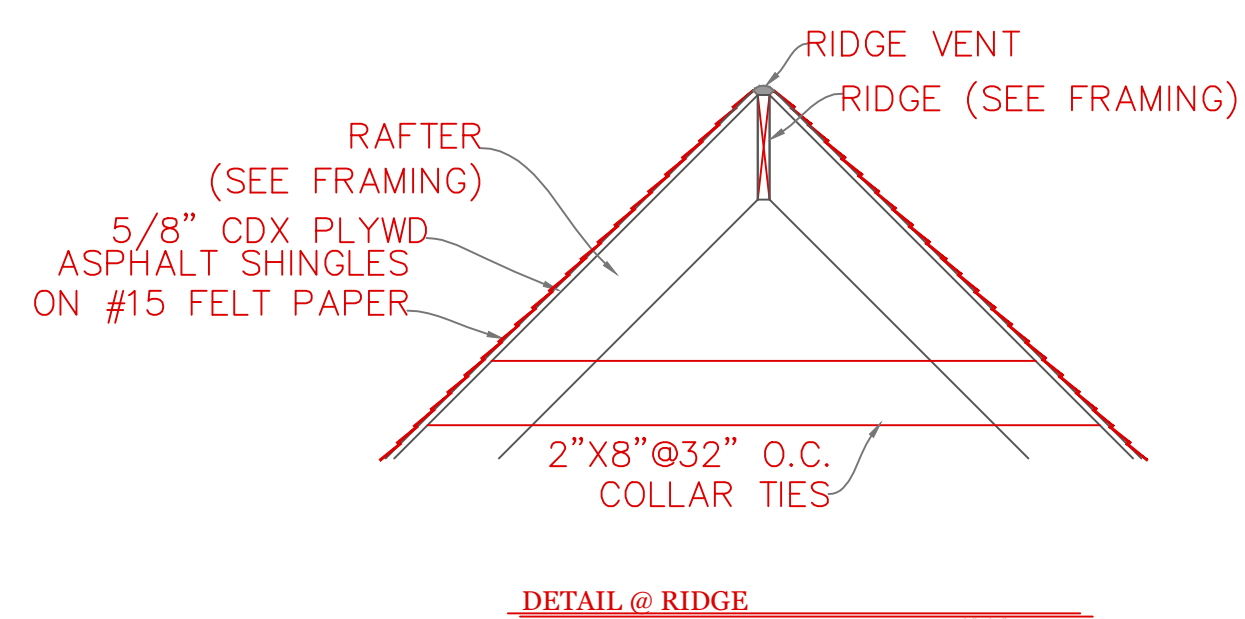
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Sheet 5 OF 8

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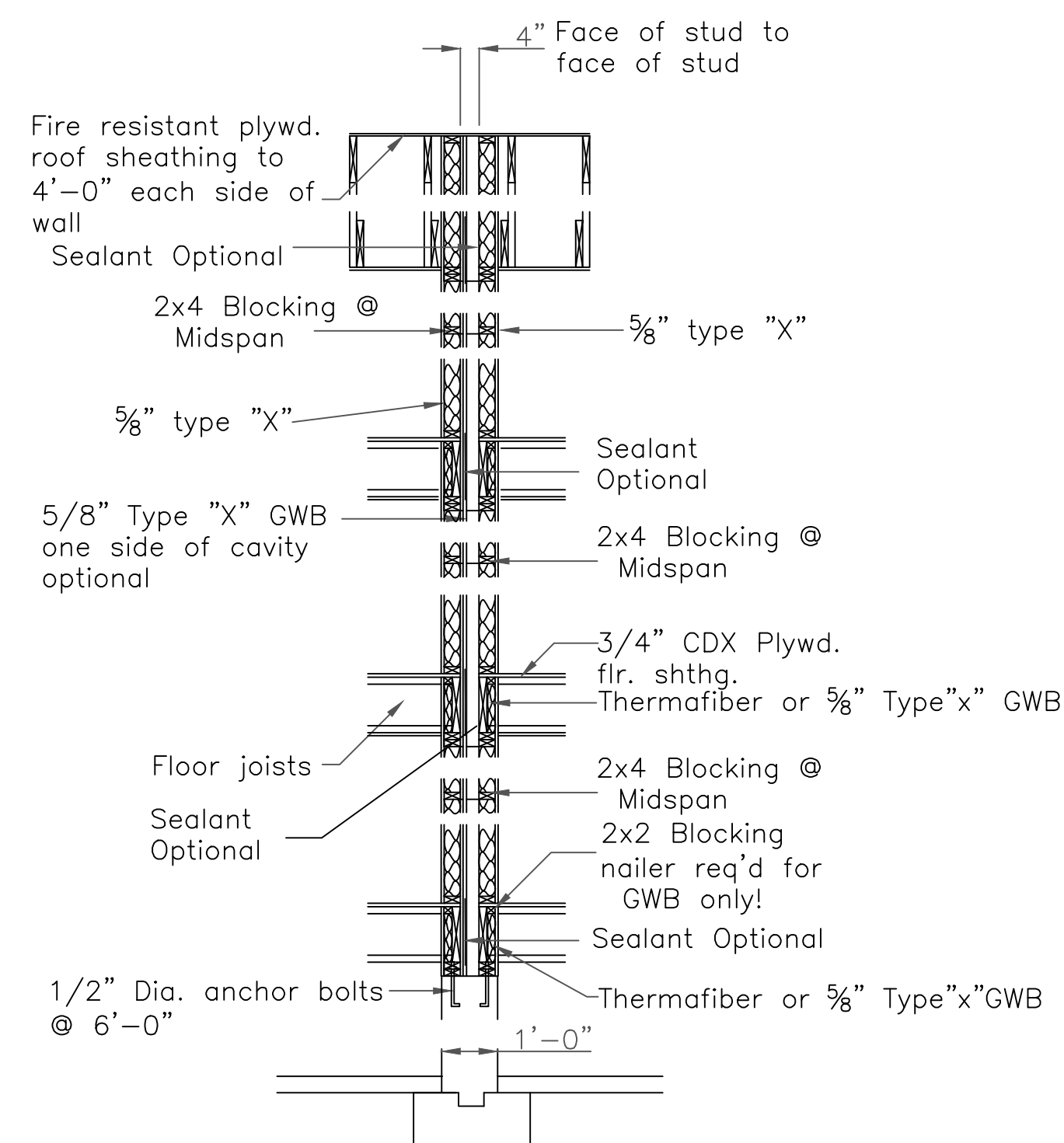
TYPICAL BUILDING SECTION



CONSTRUCTION SCHEDULE:		(UNLESS NOTED OTHERWISE ON PLAN)
1 RIDGE BOARD:	SEE FRAMING W/ RIDGE VENT	
2 ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT	
3 ROOF SHEATHING:	1/2" O.S.B. w/ 15# ROOF FELT	
4 ROOF RAFTER:	SEE FRAMING	
5 COLLAR TIES:	1X8 @ 32" O.C.	
6 DRIP EDGE:	ALUMINUM DRIP EDGE	
7 SOFFIT:	CONT. SOFFIT VENT	
8 CEILING JOIST:	SEE FRAMING	
9 ATTIC INSULATION:	R-38	
10 EXT WALL:	2"X6" @ 16" O.C.	
11 EXT. SHEATHING:	1/2" O.S.B. w/ HOUSE WRAP	
12 EXT. FINISH:	SEE ELEVATIONS	
13 INSULATION@WALL:	R-21	
14 INTERIOR WALL:	2"X4"@16"O.C.	
15 SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED	
16 JOIST:	SEE FRAMING.	
17 SILL:	2"X6" P.T. SILL W/ 2X6 KD TOP PLATE	
18 INSULATION @ FLOOR:	R-30	
19 ANCHOR:	1/2"Ø STL ANCHOR BOLTS	
20 BEAM:	SEE FRAMING PLAN	
21 COLUMN:	3 1/2" L.C.	
22 FND. WALL:	10"X7"-10" CONC. WALL	
23 SLAB:	SEE FOUNDATION NOTES	
24 FOOTING:	20"X10" CONT. KEYED FTNG	
25 CONC. PAD:	30"X30"X15" CONC. PAD	

NOTES: -ISOETHENE ALL RIM JOISTS (OPTIONAL)
 -ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE
 & 3'-0" WIDE UP VALLEYS

DUPLEX BUILDING ONLY



A Fire Resistance Rated Wall Section
 For more information see U.L. LISTING --- U-305 3/8"-1'-0"
 STC Rating = 56
 Bearing wall Rating = 1 HR.

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^g WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^g WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^b	13/17	30 ^g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTES 780 CMR 9TH EDITION

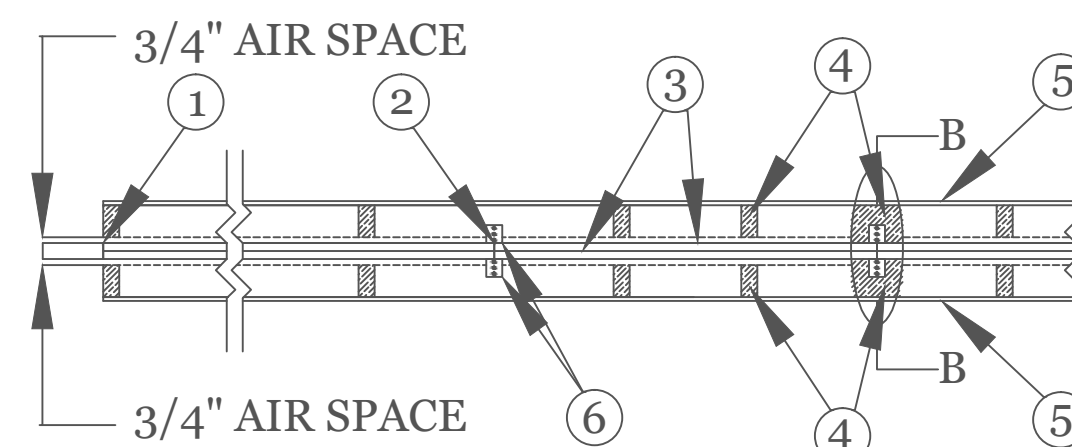
- For SI: 1 foot = 304.8 mm.
- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
 - The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 - "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
 - There are no SHGC requirements in the Marine Zone.
 - Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
 - Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
 - The second R-value applies when more than half the insulation is on the interior of the mass wall.
 - For impact rated fenestration complying with Section R301.2.1.2 of the International Residential Code or Section 1608.1.2 of the International Building Code, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

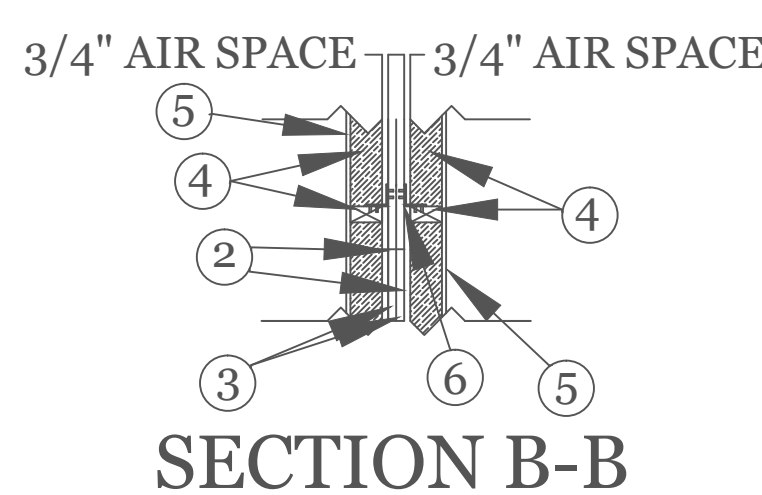
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	§5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	§5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)

FIRE RESISTANCE RATINGS - ANSI/UL 263 (BXUV)

DESIGN NO. U366
 Bearing Wall Rating - 2 HR
 Finish Rating - 120 MIN.
 STC 60-64

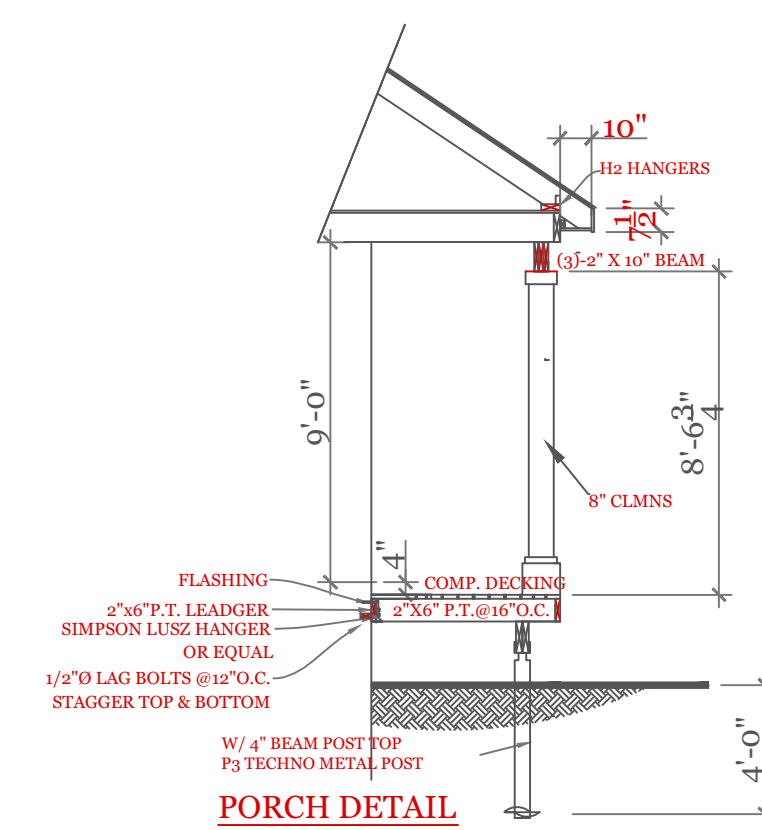
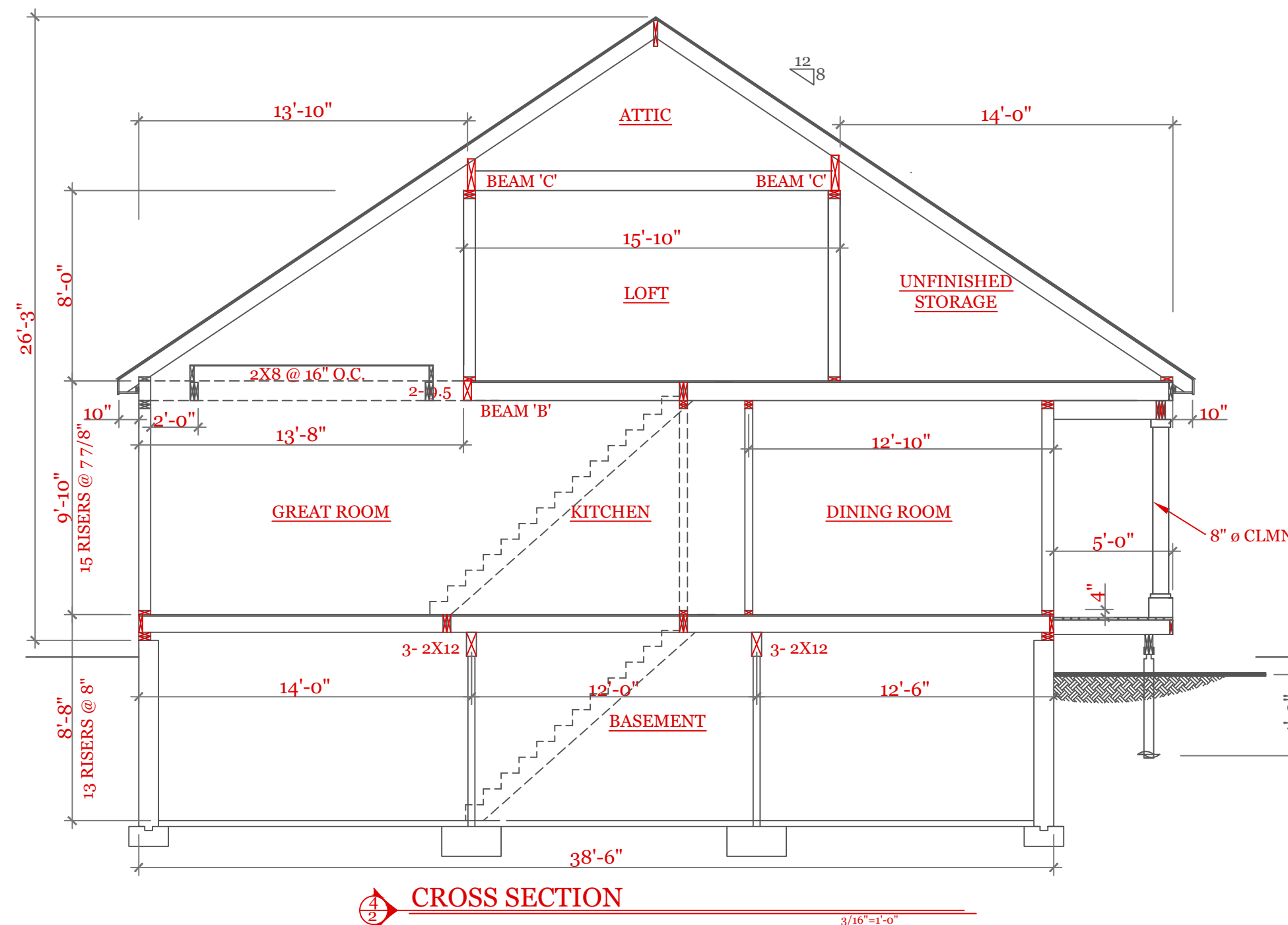


CONFIGURATION B
 EXPOSED TO FIRE FROM EITHER SIDE



AREA SEPARATION WALL: - (Max Height - 44 ft)

- Floor, Intermediate or Top Wall** - 2 in. wide channel shaped with 1 in. long legs formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. O.C.
- Steel Studs** - Steel members formed from No. 25 MSG galv steel having "H" - shaped flanged spaced 24 in. O.C.; overall depth 2in. and flange width 1-3/8 in.
- Gypsum Board*** - Two layers of 1 in. thick gypsum wallboard liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H" - shaped studs.
 BPB AMERICA INC - ProRoc Shaftliner
 JAMES HARDIE GYPSUM INC - ProRoc Shaftliner
PROTECTED WALL: - (Bearing or Nonbearing Wall)
- Wood Studs** - Nom 2 by 4 in. max spacing 16 in. O.C. Studs cross-braced at midheight where necessary for clip attachment. Min 3/4 in. separation between wood framing and area separation wall.
- Gypsum Board** - Classified or Unclassified - Min. 1/2 in. thick, 4 ft. wide, applied either horizontally or vertically. Wallboard attached to studs with 1-1/4 in. long steel drywall nails space 8 in. O.C. Vertical joints located over studs. (Optional) Joints covered with paper tape and joint compound. Nail heads covered with joint compound.
- Attachment Clips** - Aluminum angle; 0.063 in. thick, min 2 in. wide with min 2 in. and 2-1/4 in. legs. Clips secured with Type S screws 3/8 in. long to "H" studs and with Type W screws 1-1/4 in. long to wood framing through holes provided in clip. Clips spaced a max of 10ft. O.C. vertically between wood framing and "H" studs for separation walls up to 23 ft. high. For separation walls up to 44 ft. high, clips spaced as described above for the upper 24 ft. and the remaining wall area below requires clips spaced a max of 5 ft. O.C. vertically between wood framing and "H" studs.
 * Bearing the UL Classification Mark



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UNIT 'B' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

BUILDING SECTIONS
 CONSTR. SCHEDULE
 DESIGN CRITERIA

UNIT 'B' DPLX

DATE: 9/21/2022 R5/5

SCALE: AS NOTED

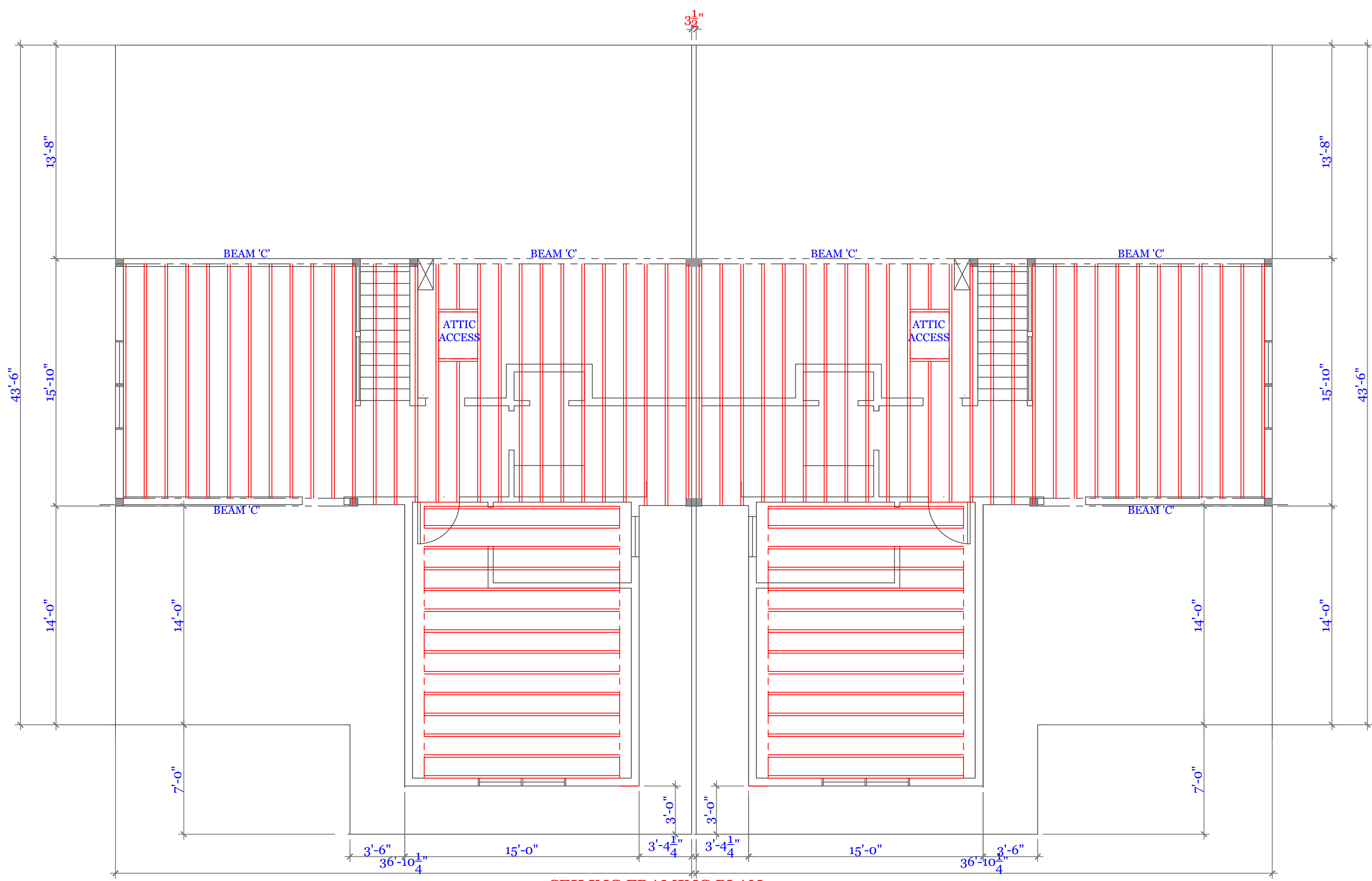
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CHECKED BY: MJB

Sheet 6 OF 8

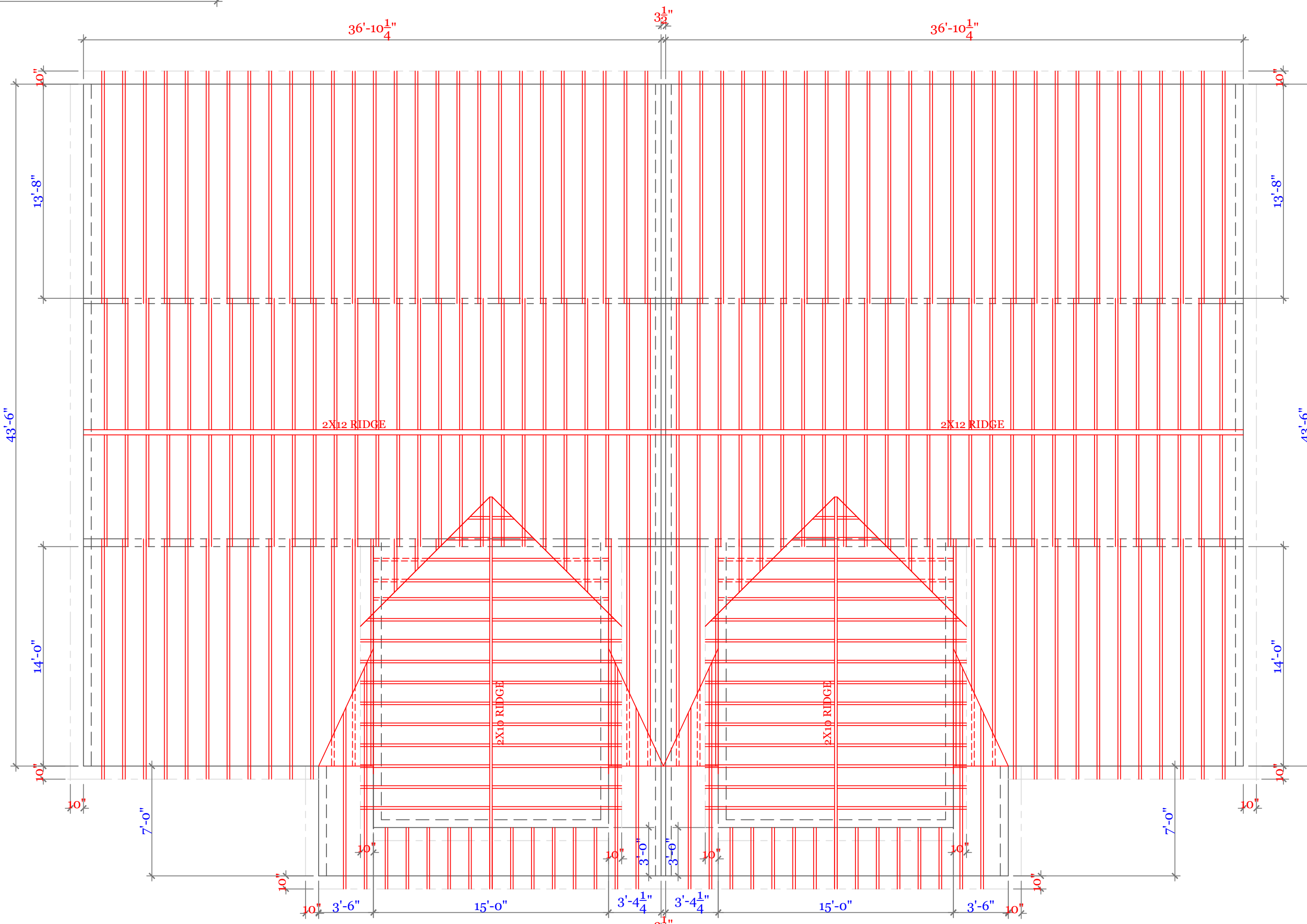
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CEILING FRAMING PLAN
 2X8 @ 16" O.C. 3/16" = 1'-0"
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT.

BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	5 1/4" X 16" LVL	22'-0"	315	440	710	1021
B	3 1/2" X 11 7/8" LVL	15'-0"	390	520	442	647
C	5 1/4" X 14" LVL ROOF	18'-0"	160	790	610	896



ROOF FRAMING PLAN
 2X10 @ 16" O.C. MAIN ROOF 3/16" = 1'-0"
 2X8 @ 16" O.C. DORMER & GARAGE

NOTES:

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UNIT 'B' DUPLEX
 HIGGINS FARM AT
 SALISBURY GREEN

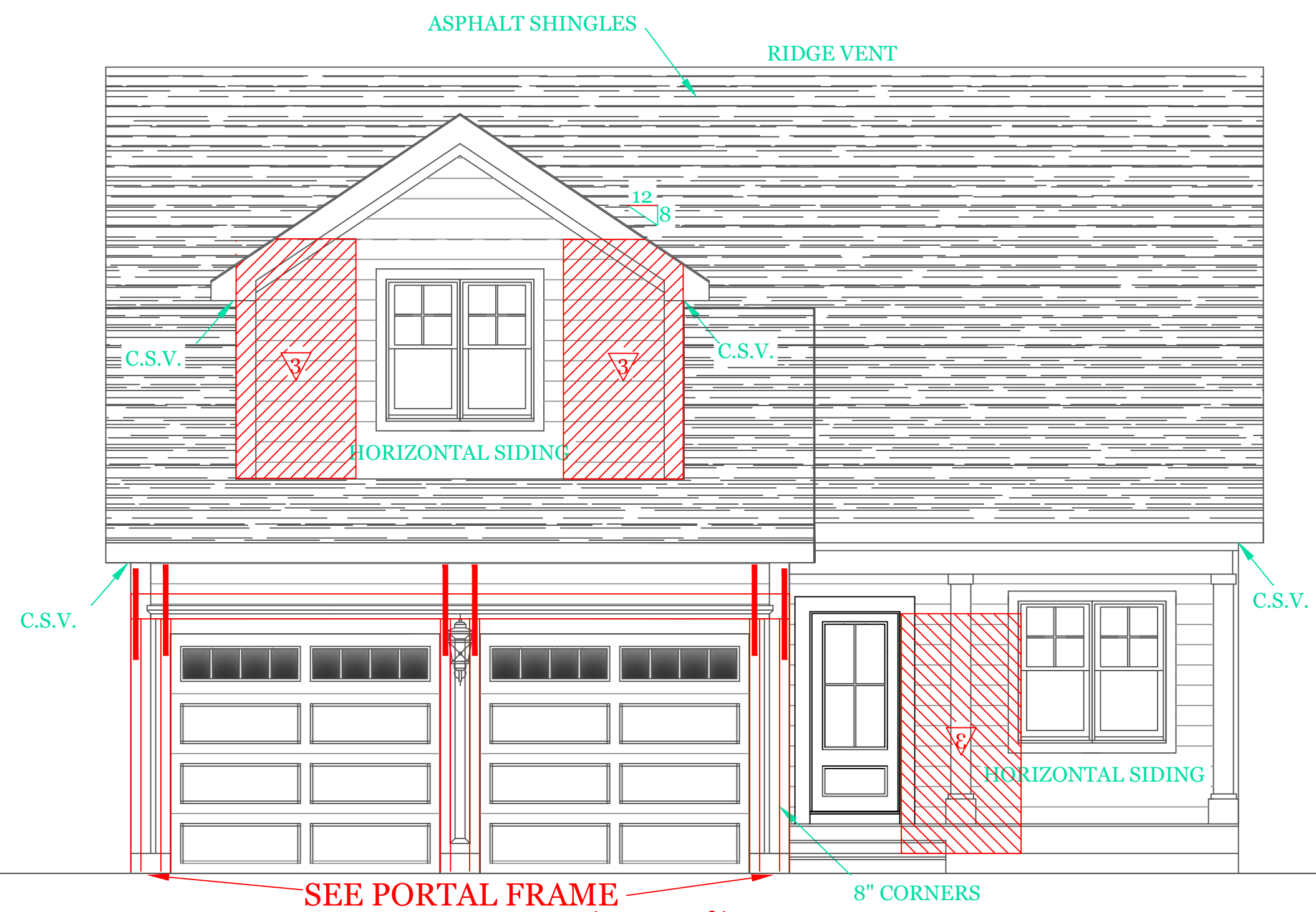
CEILING & ROOF
 FRAMING PLANS
 BEAM SCHEDULE

UNIT 'B' DPLX

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 SCALE: 3/16" = 1'-0"
 DRAWN BY: RCS
 CHECKED BY: MJB

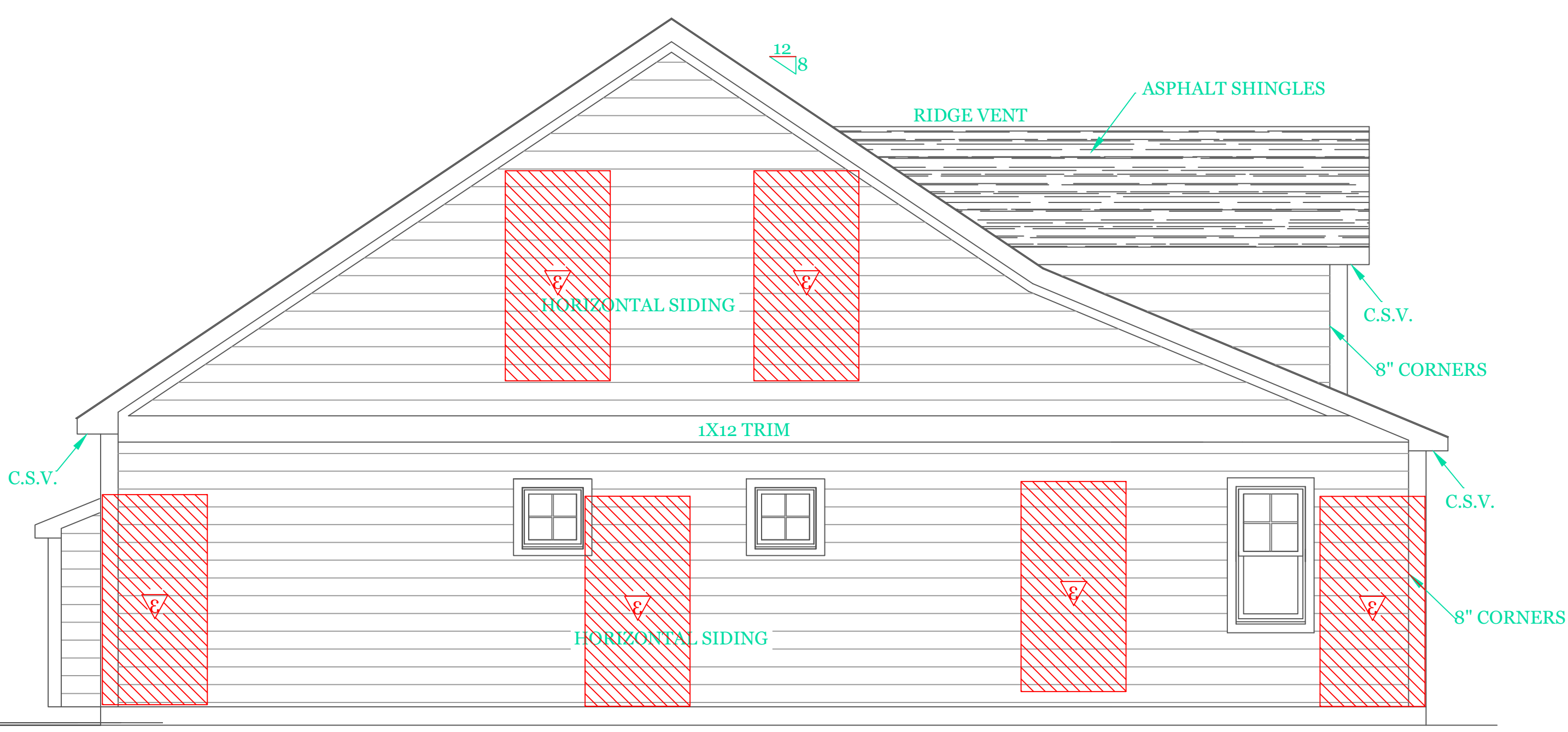
Sheet 8 OF 8

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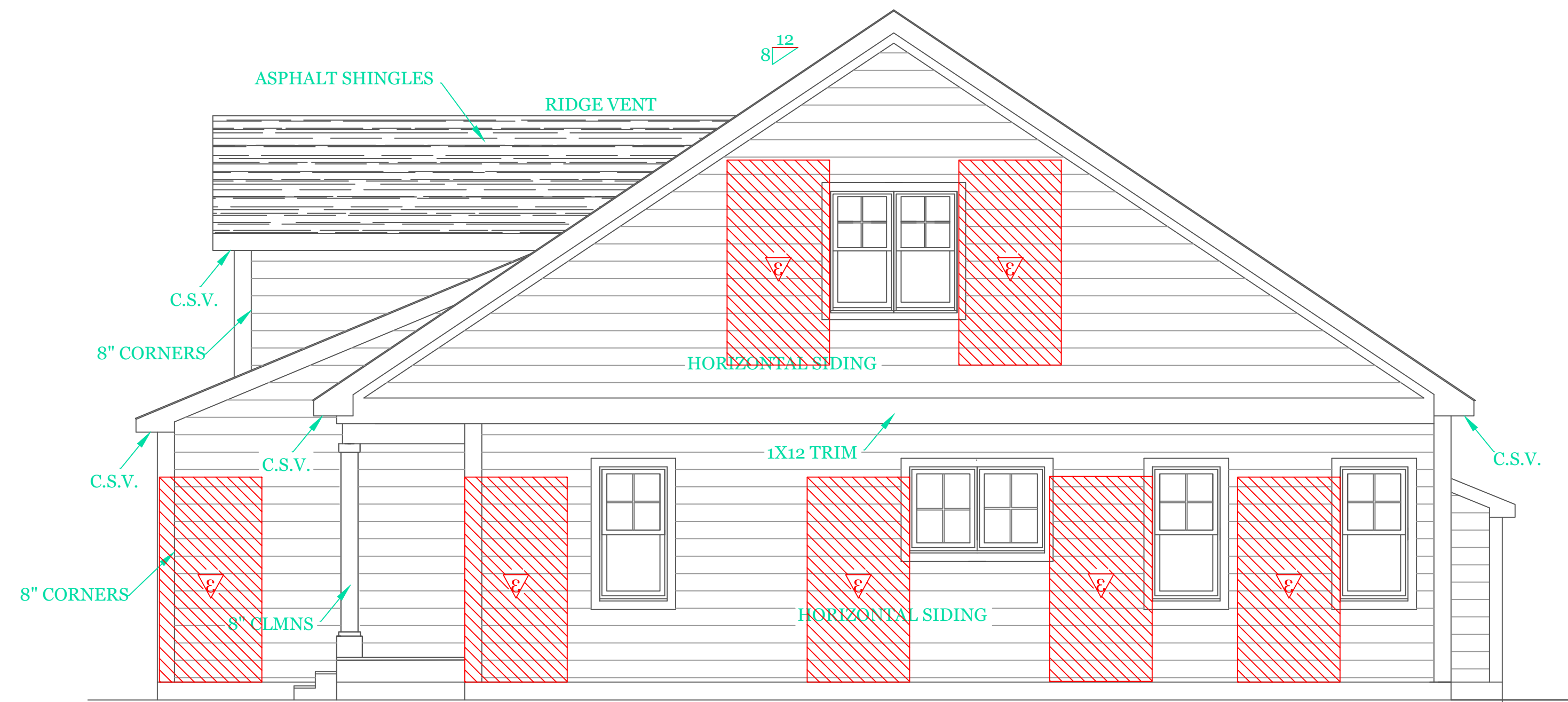


**SEE PORTAL FRAME
FRONT ELEVATION (1936 s.f.)**

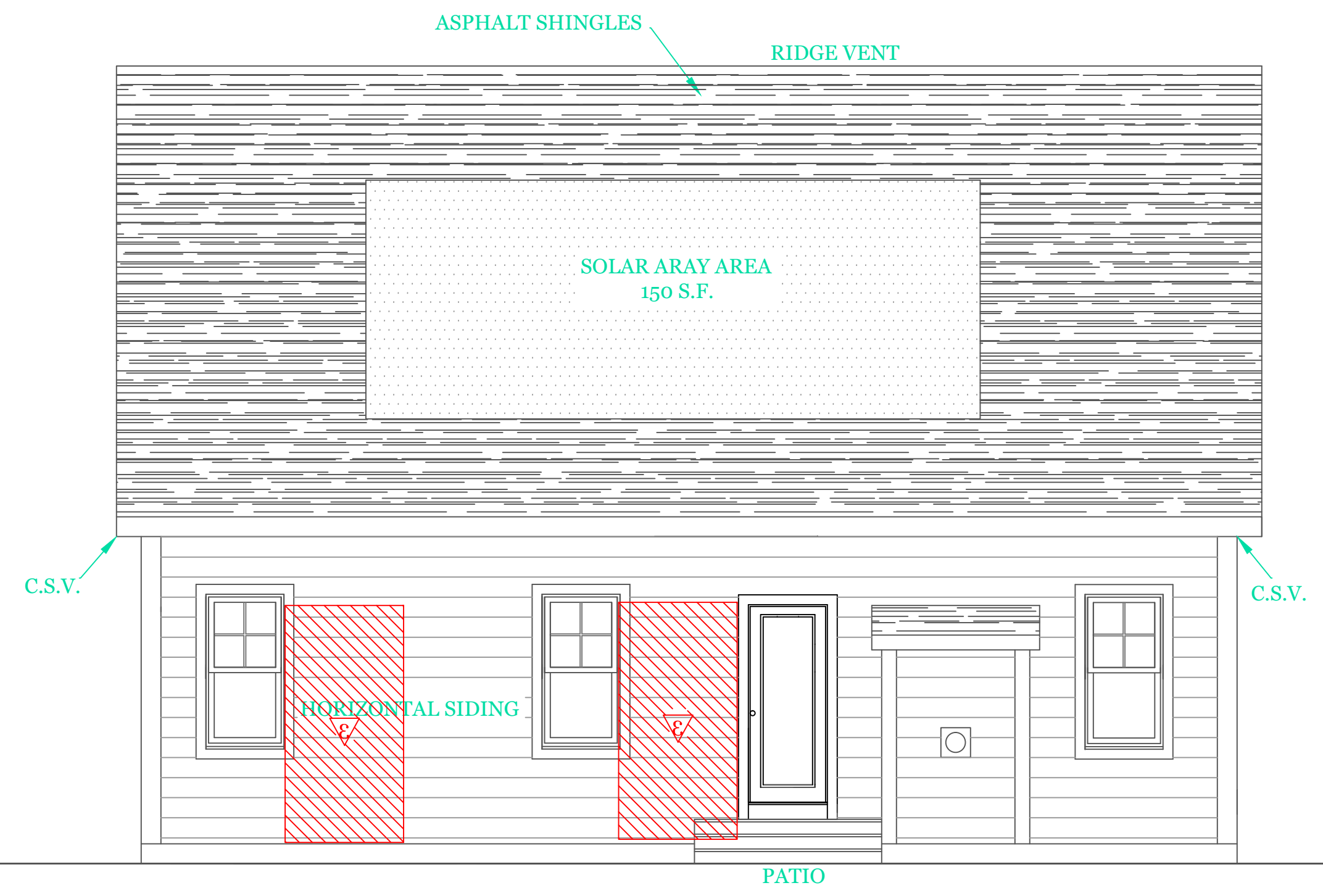
W/ 3/4" WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING PANELS INSTALLED VERTICALLY
W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

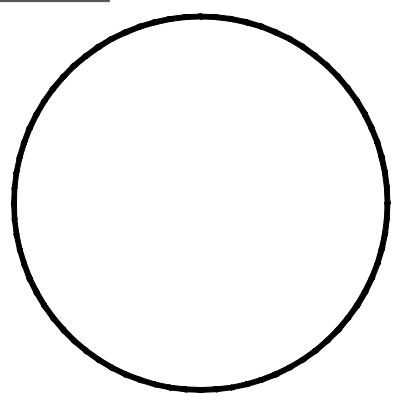


REAR ELEVATION

NOTES:
GENERAL NOTES:
1. These plans are drawn as required for construction by an experienced licensed general contractor.
2. The General contractor shall fully comply with the 9TH Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
3. Written dimensions shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings. Any defects in the construction documents shall be brought to the attention of this office before proceeding with work. Reasonable time not allowed this office to correct defects shall place the burden of cost and liability from such defects upon the contractor.

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UNIT 'B' 1936 S.F.
HIGGINS FARM AT
SALISBURY HILL

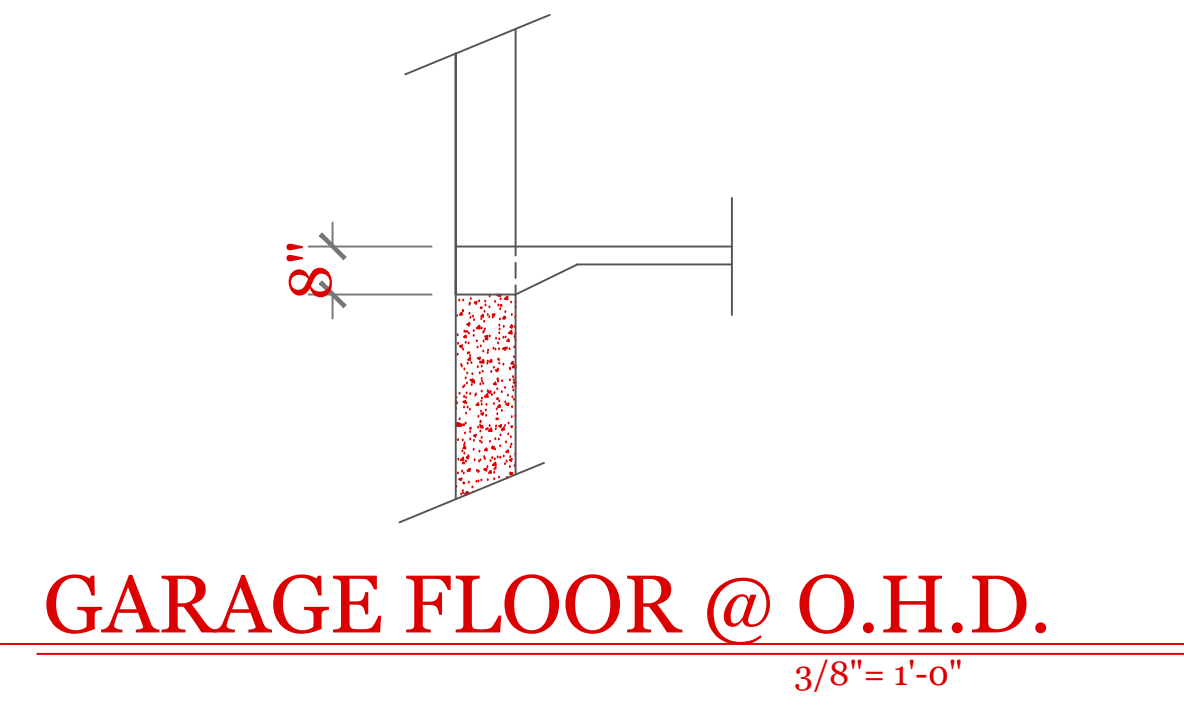
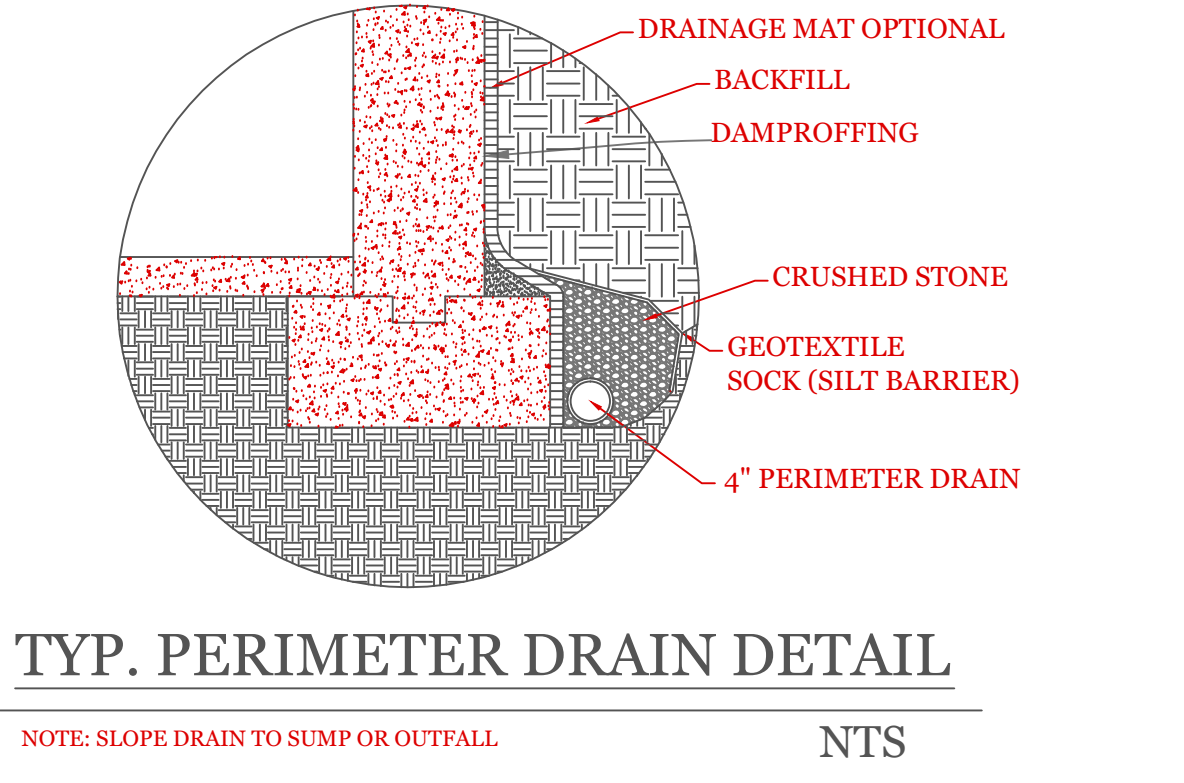
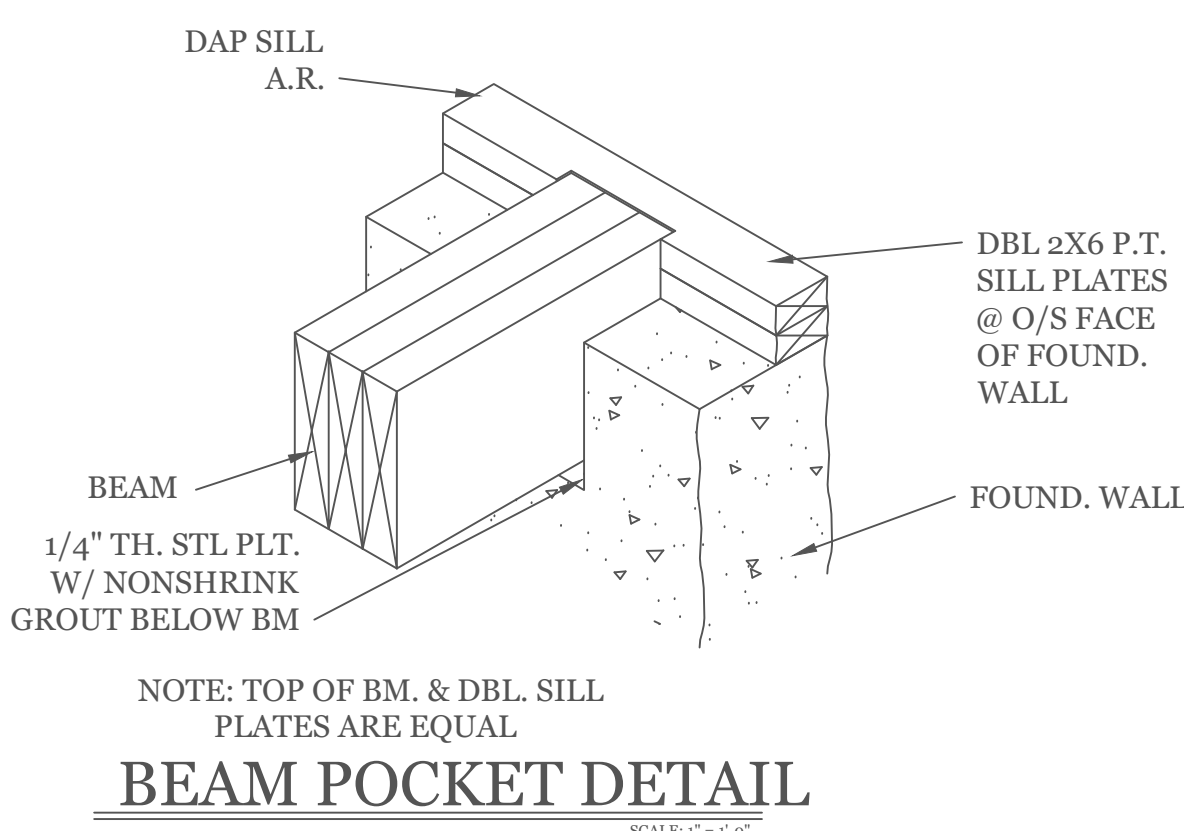
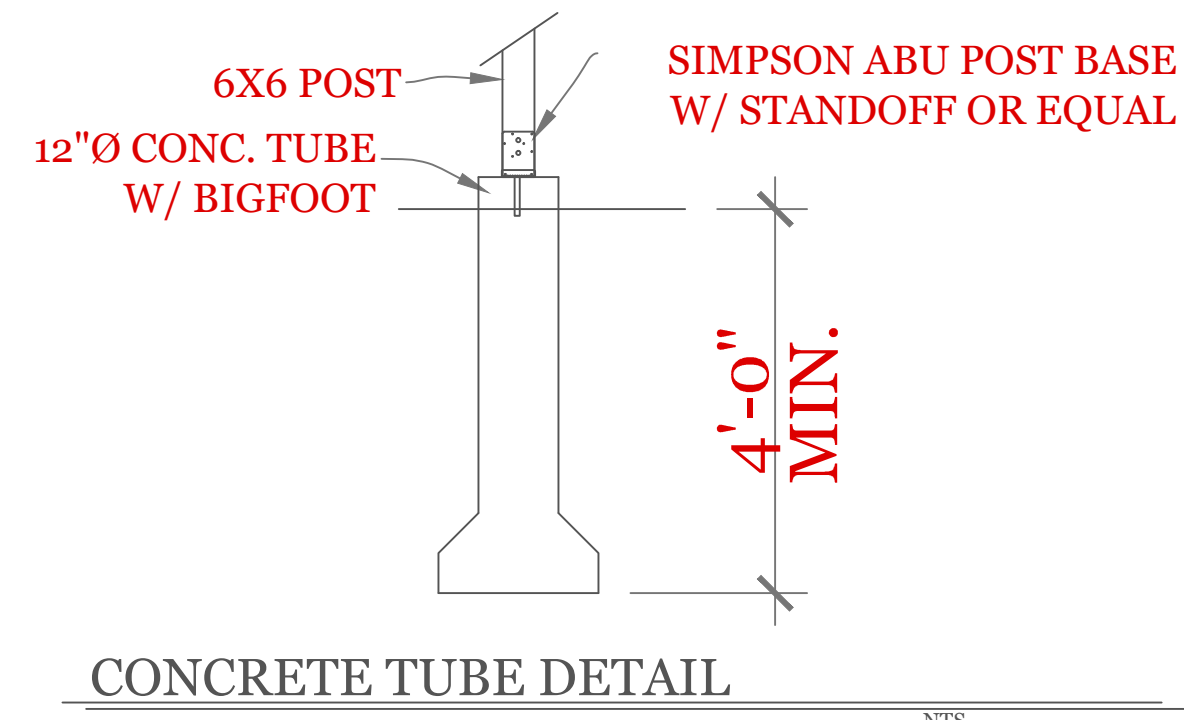
ELEVATIONS

UNIT 'B' GL
DATE: 9/21/2022 R5/5
SCALE: 1/4" = 1'-0"
DRAWN BY: RCS
CHECKED BY: MJB

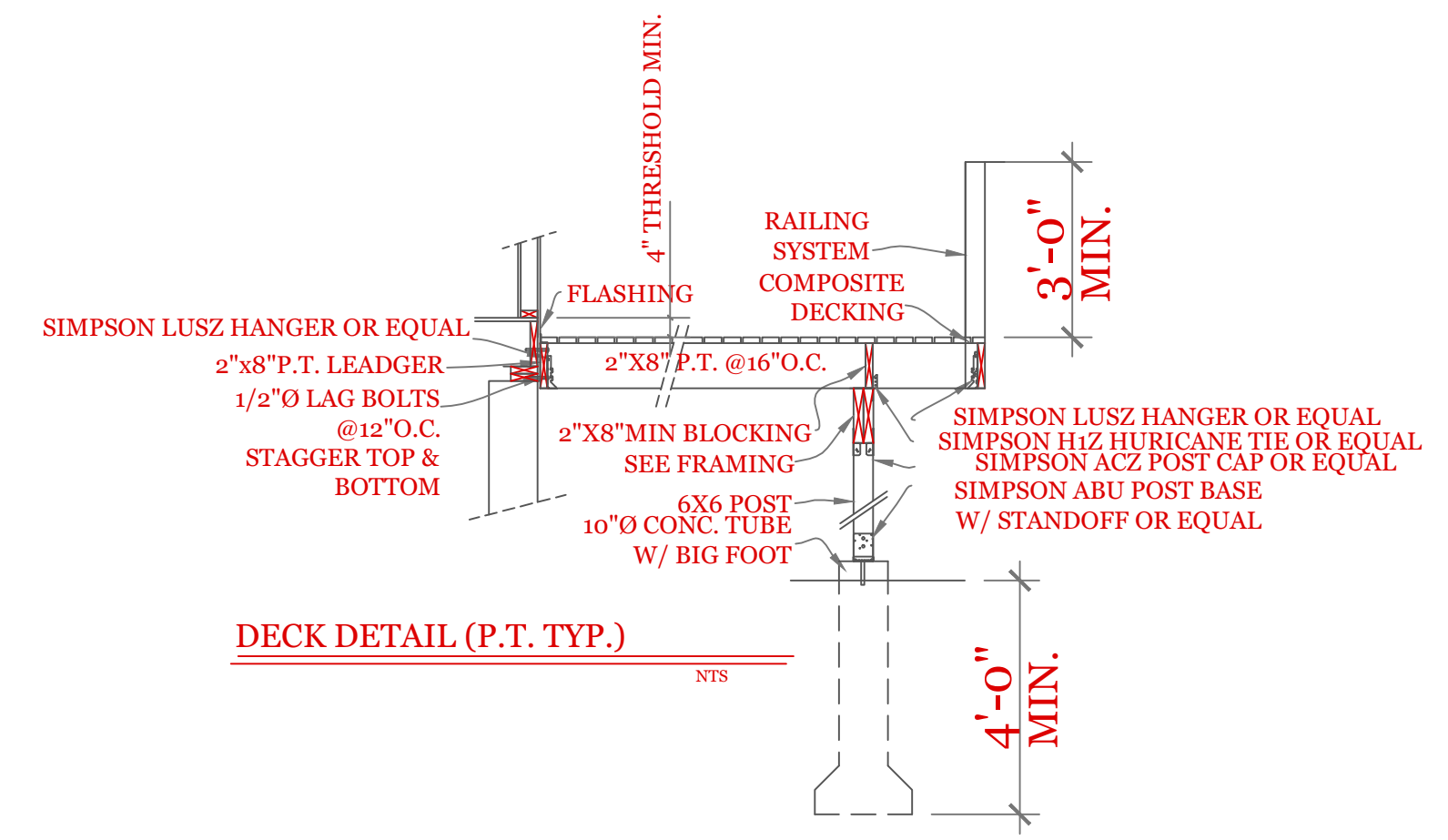
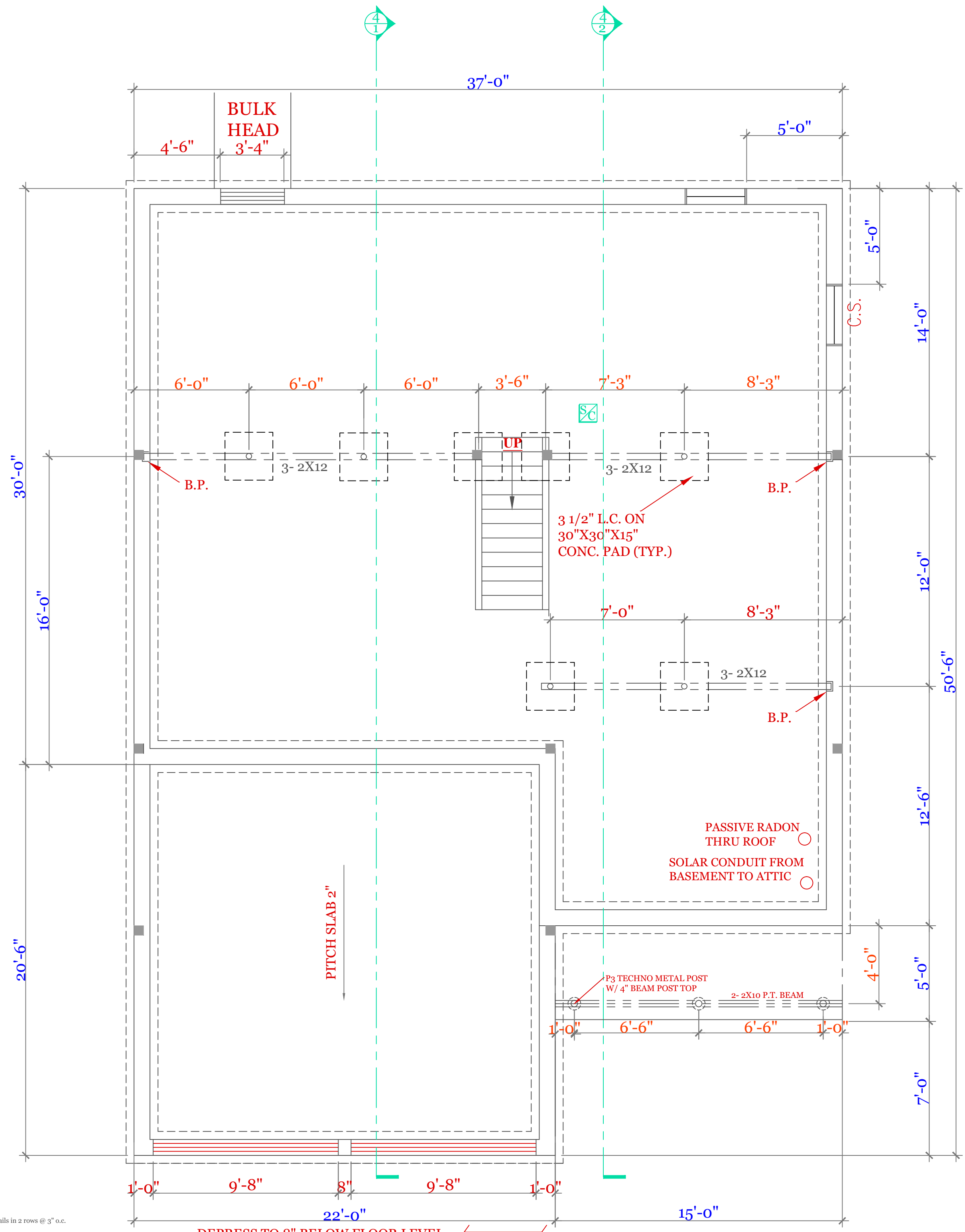
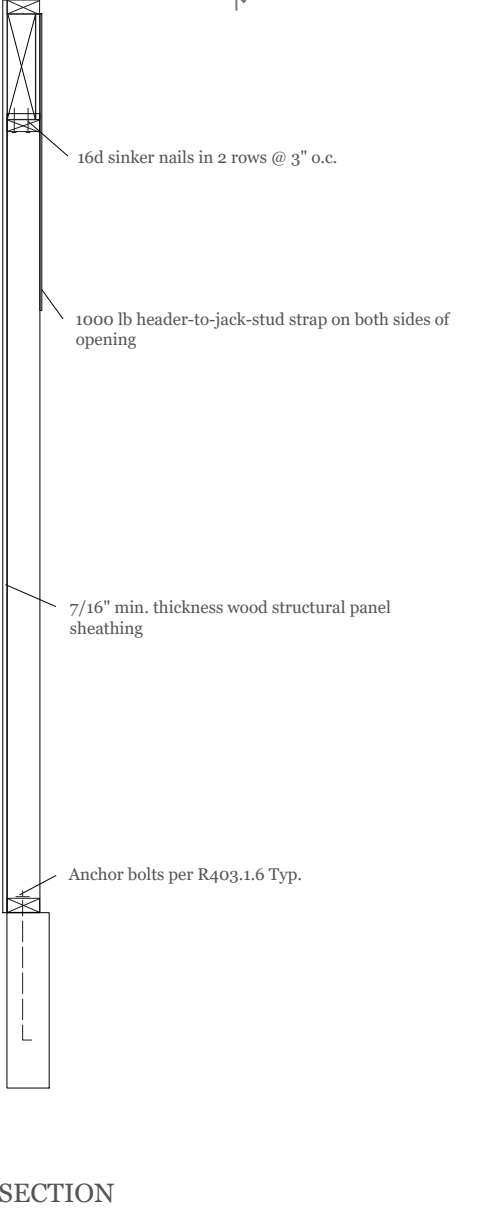
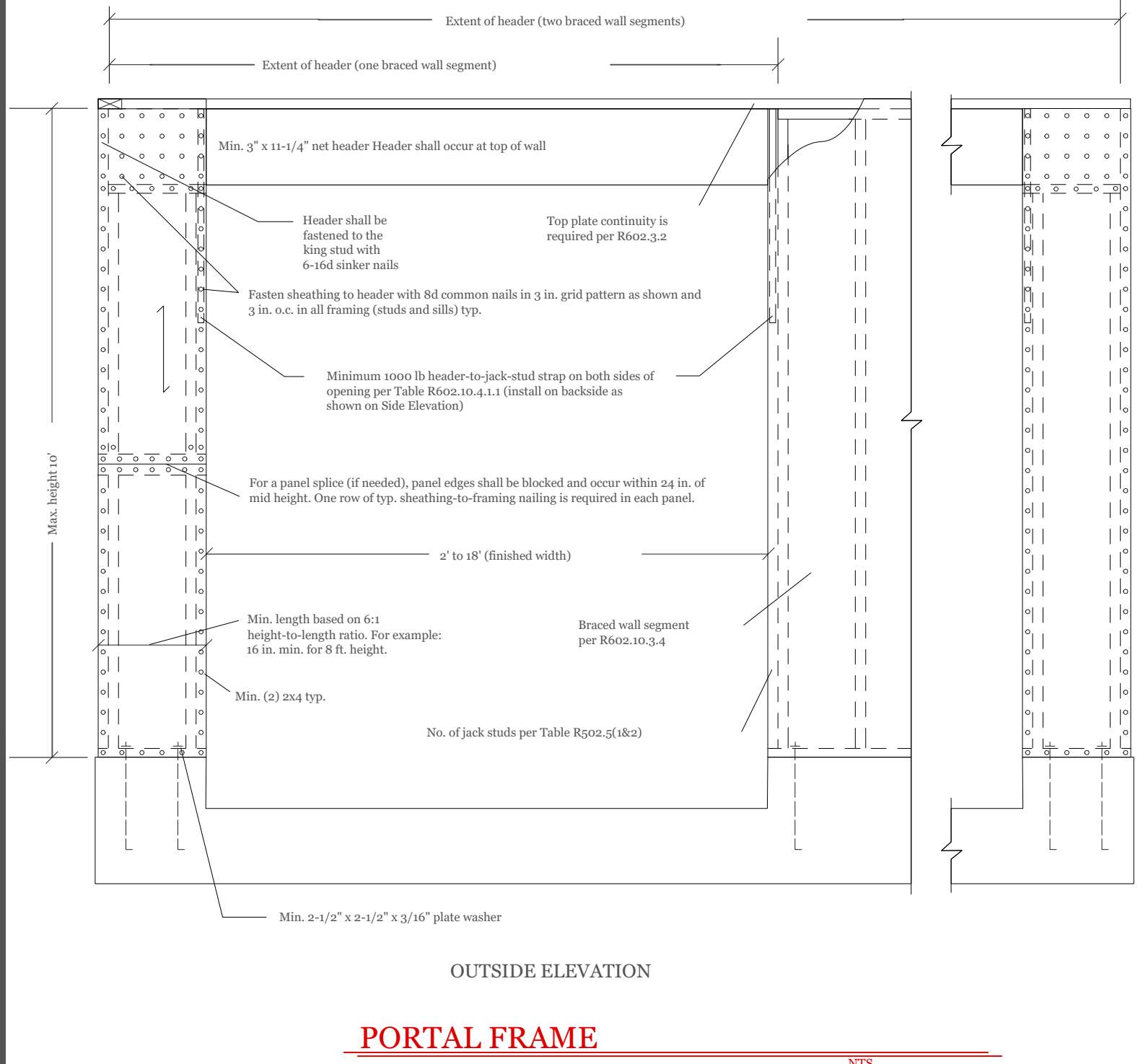
Sheet 1 OF 5

1

TYPICAL FOUNDATION DETAILS



- SYMBOL SCHEDULE;**
- V VENT
 - SC SMOKE AND CARBON DETECTOR
 - S SMOKE DETECTOR
 - H HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK



NOTES:

FOUNDATION NOTES:

- HOUSE FOUNDATION- 10"x7'-10" FOUR ON 20"x10" CONTINUOUS KEYED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL
- GARAGE FOUNDATION- 8"x4'-0" MINIMUM POUR ON 16"x8" CONTINUOUS KEYED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
- BASEMENT FLOOR-MINIMUM 4" CONCRETE (3,500 PSI)
- GARAGE FLOOR- MINIMUM 4" CONCRETE (3,500PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2' TOWARD OVERHEAD GARAGE DOOR'
- ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
- ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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UNIT 'B' HIGGINS FARM AT SALISBURY HILL

FOUNDATION PLAN PORTAL FRAME DETAILS

UNIT 'B' GL

DATE: 9/21/2022 R5/5

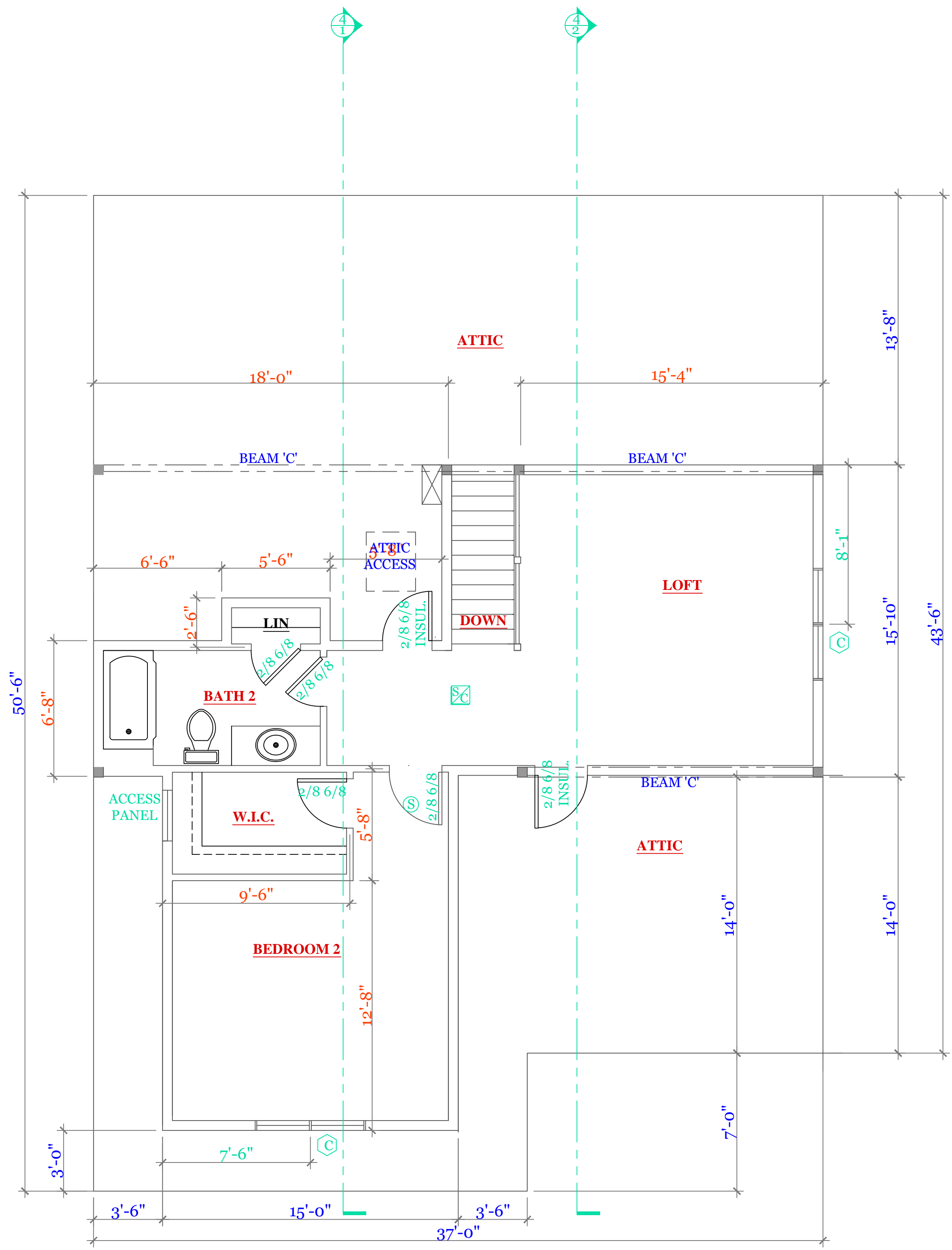
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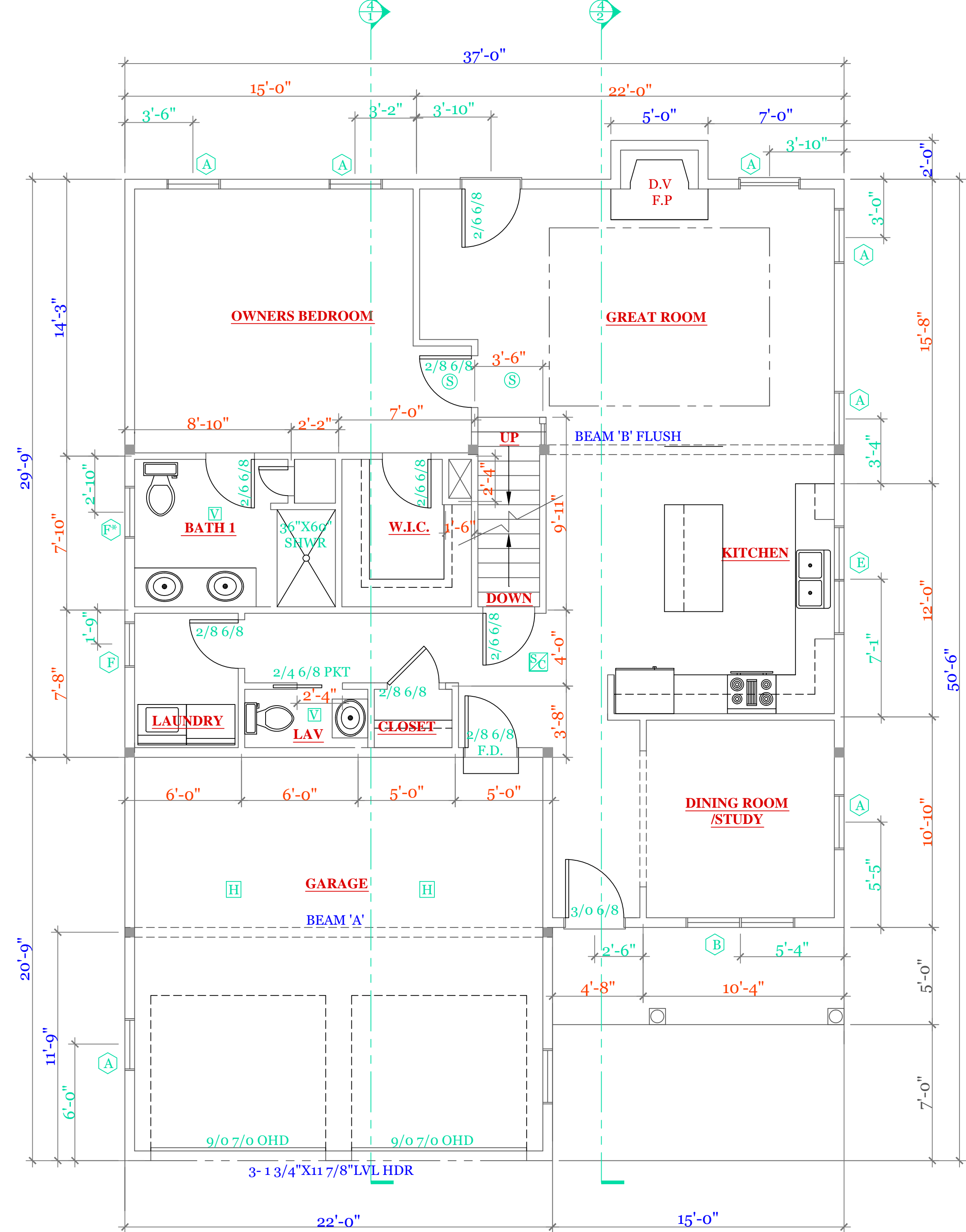
CHECKED BY: MJB

Sheet 2 OF 5

2



SECOND FLOOR PLAN (705 s.f.)



FIRST FLOOR PLAN (1231 s.f. GARAGE 448 s.f.)

WINDOW SCHEDULE: LANSING			
INDEX	QUA	CATALOG	ROUGH OPENING
A	7	10000-1	2'-8 1/8" X 5'-6"
B	1	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	5'-4 1/2" X 4'-9"
D	2	13000-1	2'-4 1/8" X 3'-6"
E	1	14000-1	4'-0 1/2" X 3'-5 3/8"
F	2	15000-1 TEMPERED	2'-8" X 2'-8"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

- SYMBOL SCHEDULE:**
- V VENT
 - S SMOKE AND CARBON DETECTOR
 - S SMOKE DETECTOR
 - H HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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UNIT 'B'
HIGGINS FARM AT
SALISBURY HILL

FIRST & SECOND
FLOOR PLAN
WINDOW SCHEDULE

UNIT 'B' GL

DATE: 9/21/2022 R5/5

SCALE: 1/4"=1'-0"

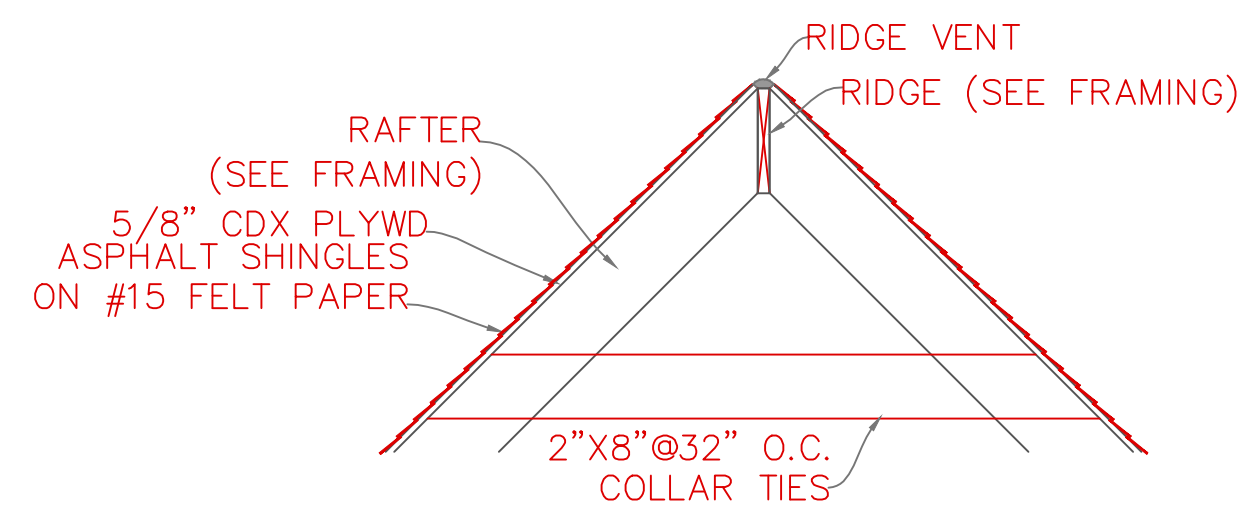
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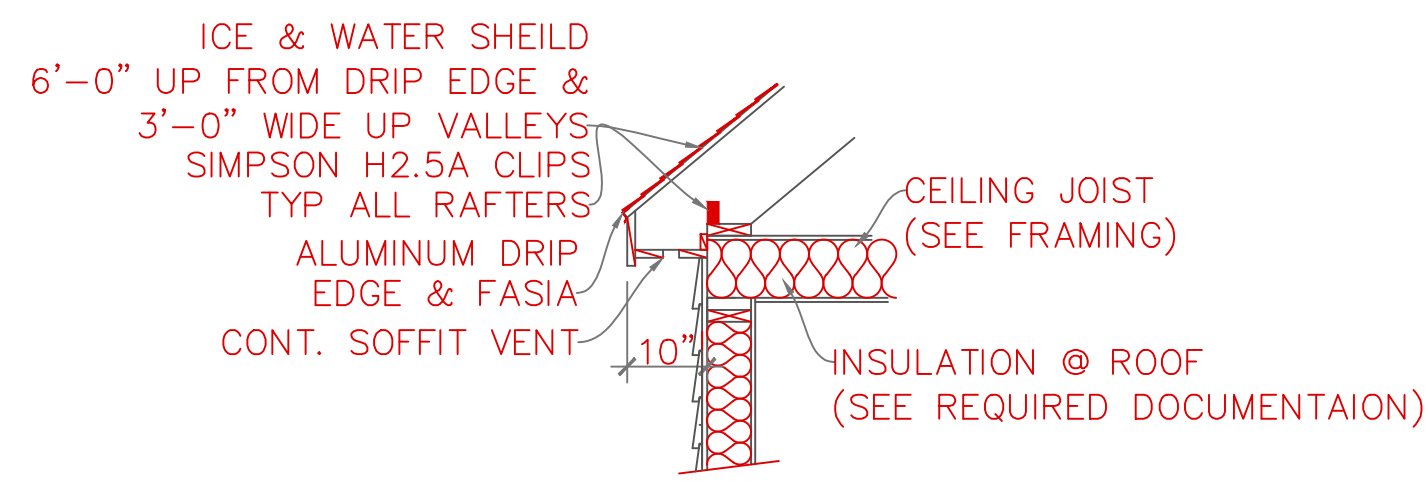
Sheet 3 OF 5

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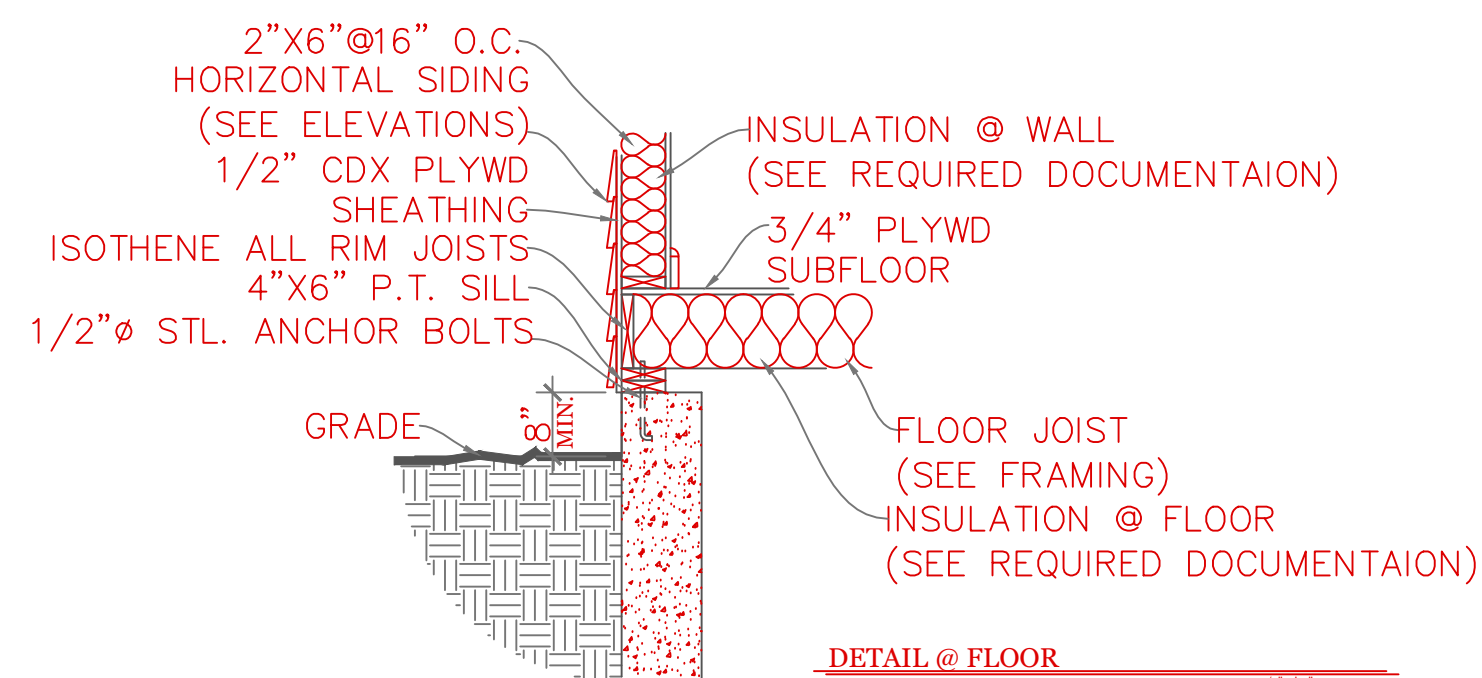
TYPICAL BUILDING SECTION



DETAIL @ RIDGE



DETAIL @ SOFFIT



DETAIL @ FLOOR

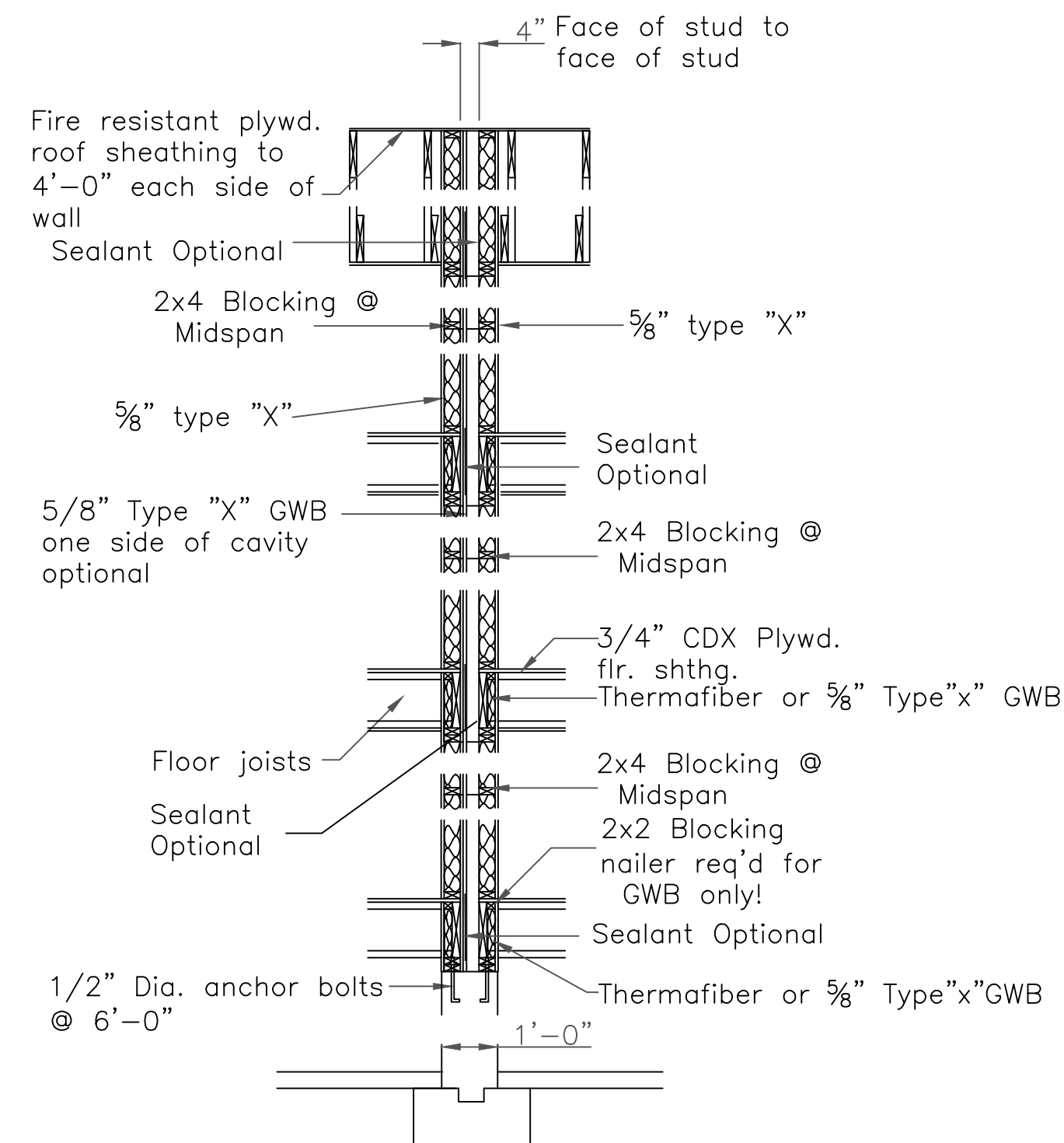
CONSTRUCTION SCHEDULE:

(UNLESS NOTED OTHERWISE ON PLAN)

1	RIDGE BOARD:	SEE FRAMING W/ RIDGE VENT
2	ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT
3	ROOF SHEATHING:	1/2" O.S.B. w/ 15# ROOF FELT
4	ROOF RAFTER:	SEE FRAMING
5	COLLAR TIES:	1X8 @ 32" O.C.
6	DRIP EDGE:	ALUMINUM DRIP EDGE
7	SOFFIT:	CONT. SOFFIT VENT
8	CEILING JOIST:	SEE FRAMING
9	ATTIC INSULATION:	R-38
10	EXT WALL:	2"x6" @ 16" O.C.
11	EXT. SHEATHING:	1/2" O.S.B. w/ HOUSE WRAP
12	EXT. FINISH:	SEE ELEVATIONS
13	INSULATION@WALL:	R-21
14	INTERIOR WALL:	2"x4"@16"O.C.
15	SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED
16	JOIST:	SEE FRAMING.
17	SILL:	2"x6" P.T. SILL W/ 2X6 KD TOP PLATE
18	INSULATION @ FLOOR:	R-30
19	ANCHOR:	1/2" STL ANCHOR BOLTS
20	BEAM:	SEE FRAMING PLAN
21	COLUMN:	3 1/2" L.C.
22	FND. WALL:	10"X7'-10" CONC. WALL
23	SLAB:	SEE FOUNDATION NOTES
24	FOOTING:	20"X10" CONT. KEYED FTNG
25	CONC. PAD:	30"X30"X15" CONC. PAD

NOTES: -ISOETHENE ALL RIM JOISTS (OPTIONAL)
-ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS

DUPLEX BUILDING ONLY



A Fire Resistance Rated Wall Section
For more information see U.L. LISTING --- U-305 3/8"-1'-0"
STC Rating = 56
Bearing wall Rating = 1 HR.

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^b	13/17	30g	15/19	10, 2 ft	15/19

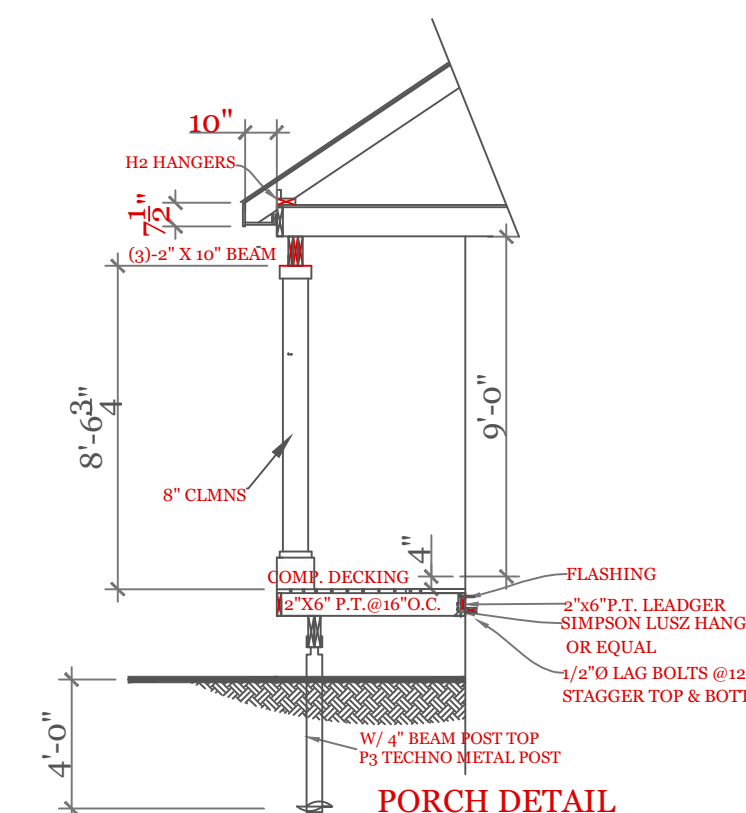
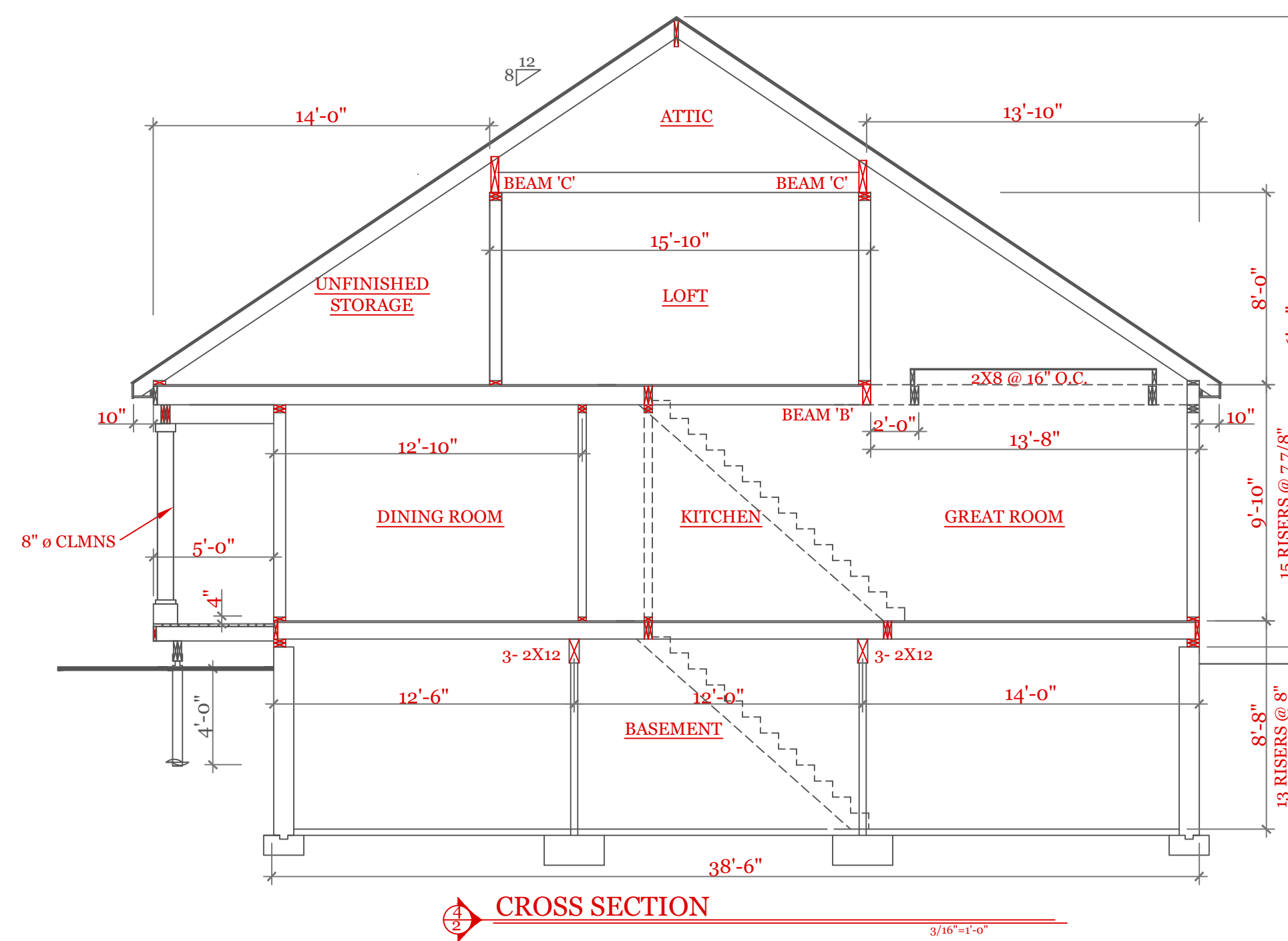
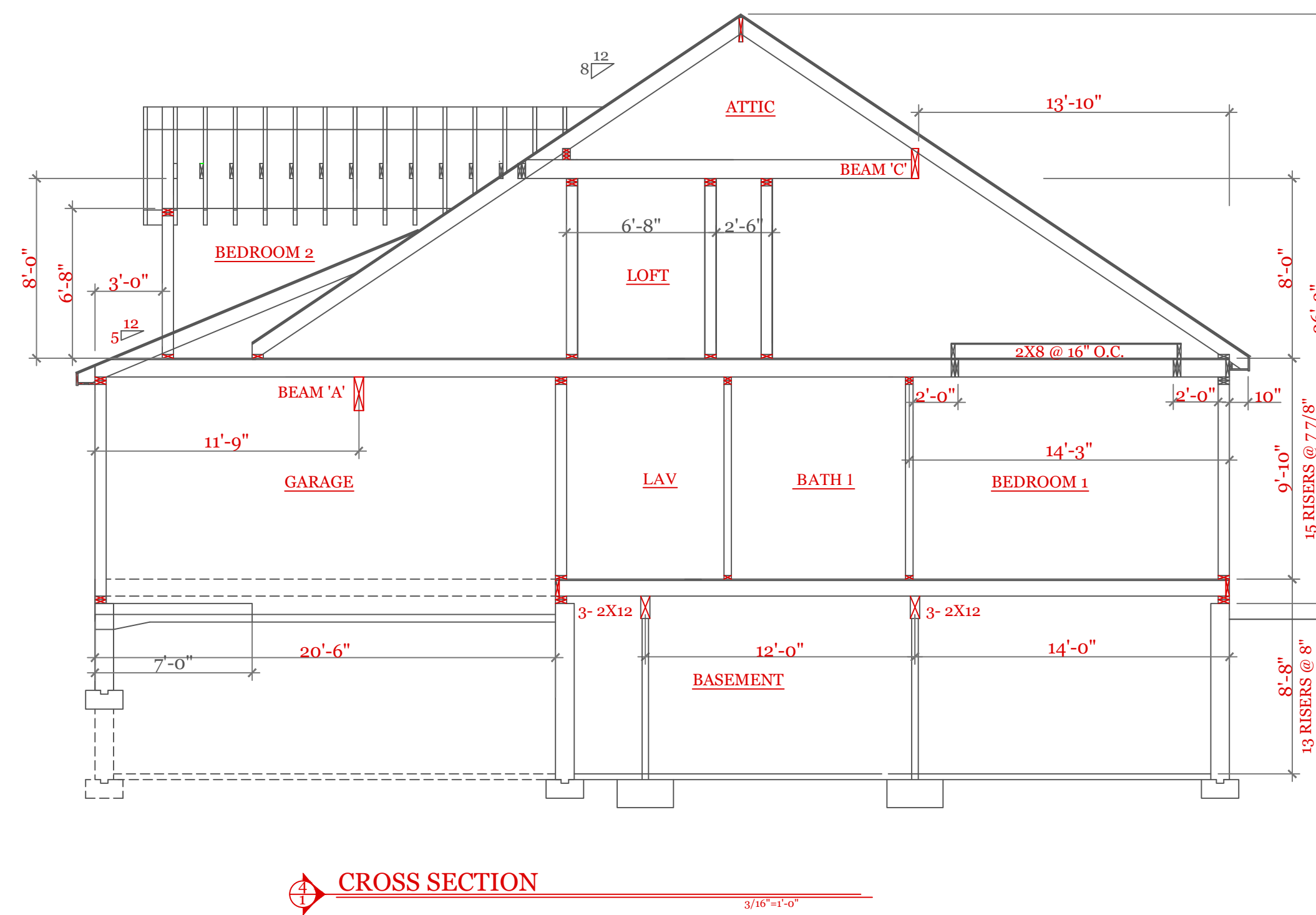
2018 INTERNATIONAL ENERGY CONSERVATION CODE[®] AND MASSACHUSETTES 780 CMR 9TH EDITION

For SI: 1 foot = 304.8 mm.

- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
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- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- The second R-value applies when more than half the insulation is on the interior of the mass wall.
- For impact rated fenestration complying with Section R301.21.2of the *International Residential Code* or Section 1608.1.2of the *International Building Code*, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	§5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	§5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)



NOTES:

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UNIT 'B'
HIGGINS FARM AT
SALISBURY HILL

BUILDING SECTIONS
CONSTR. SCHEDULE
DESIGN CRITERIA

UNIT 'B' GL

DATE: 9/21/2022 R5/5

SCALE: AS NOTED

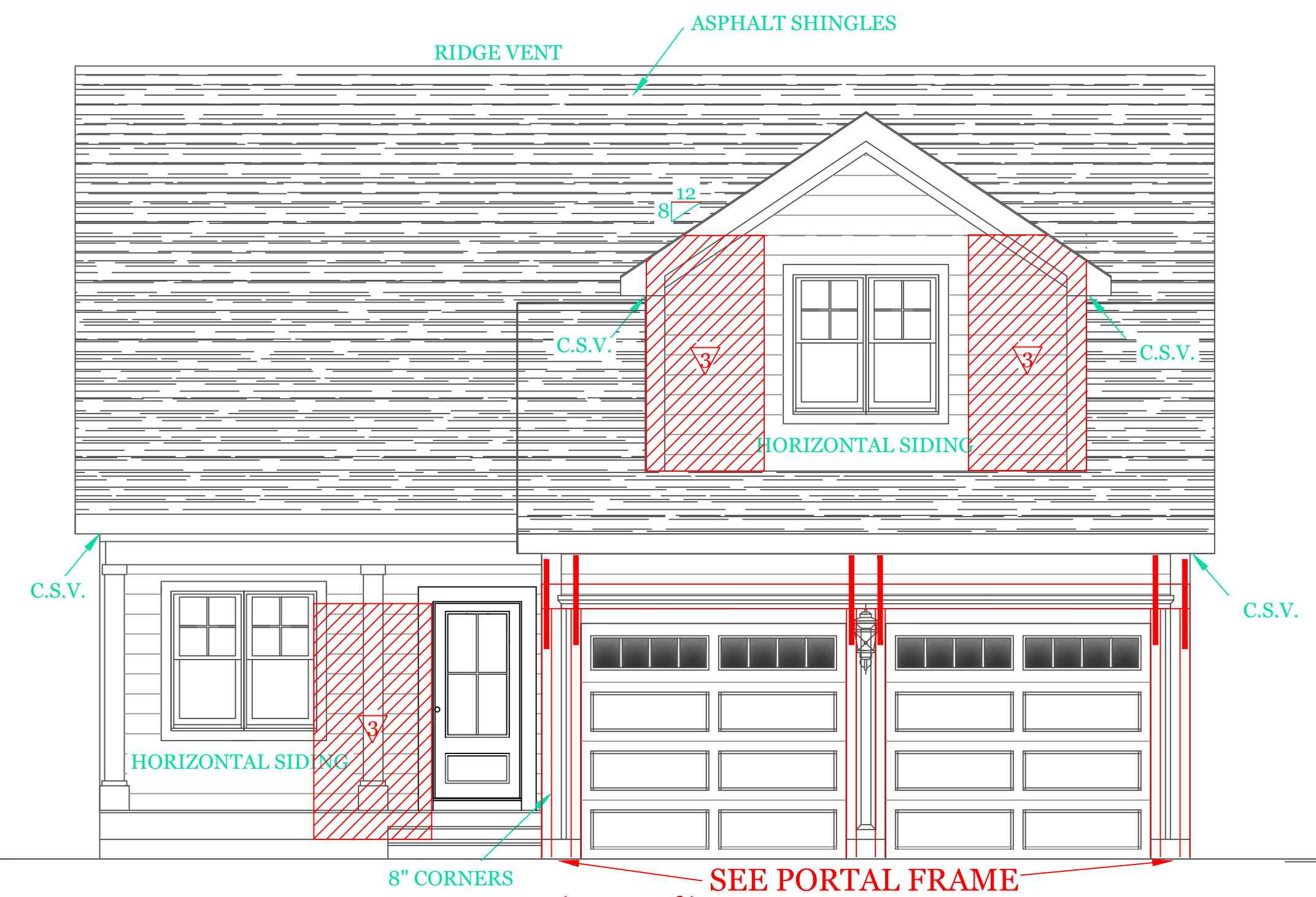
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Sheet 4 OF 5

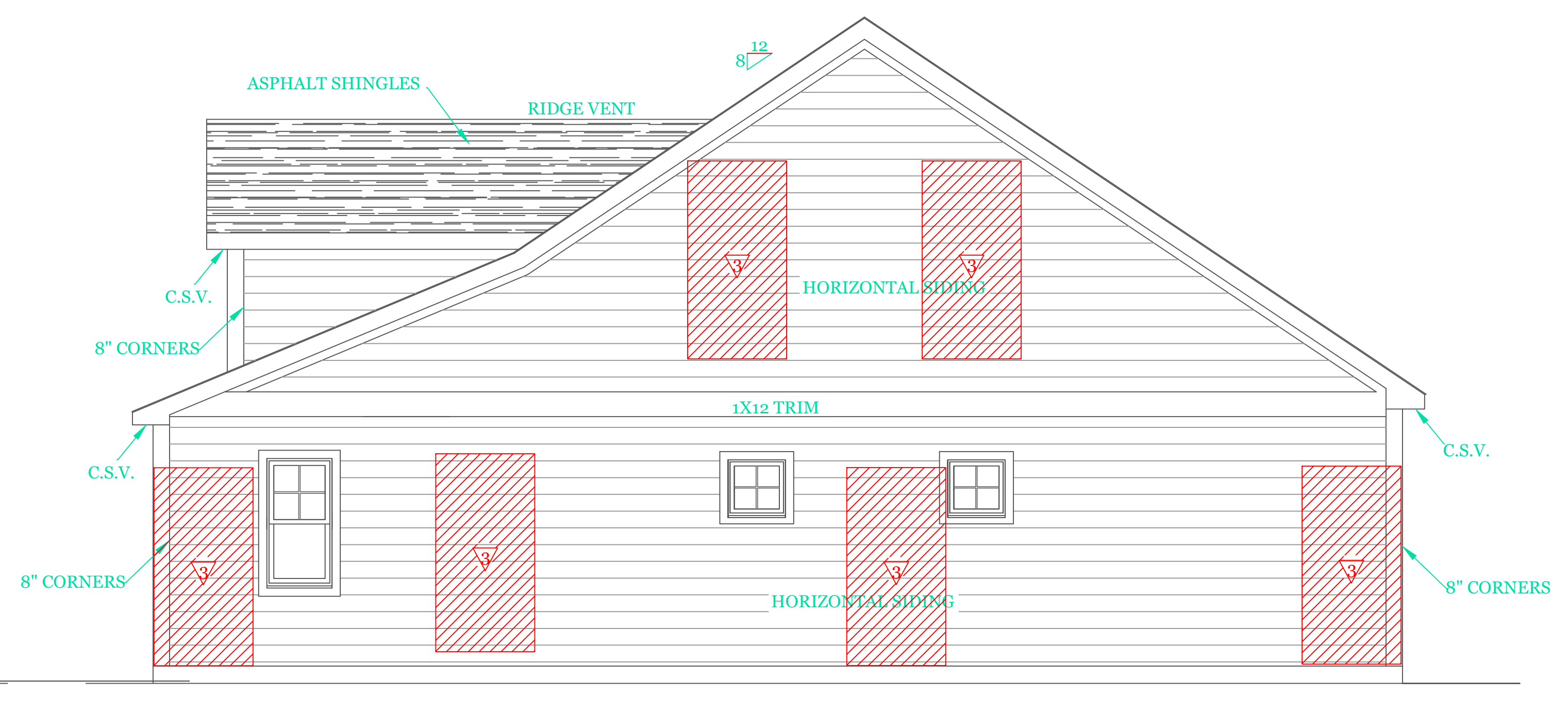
4

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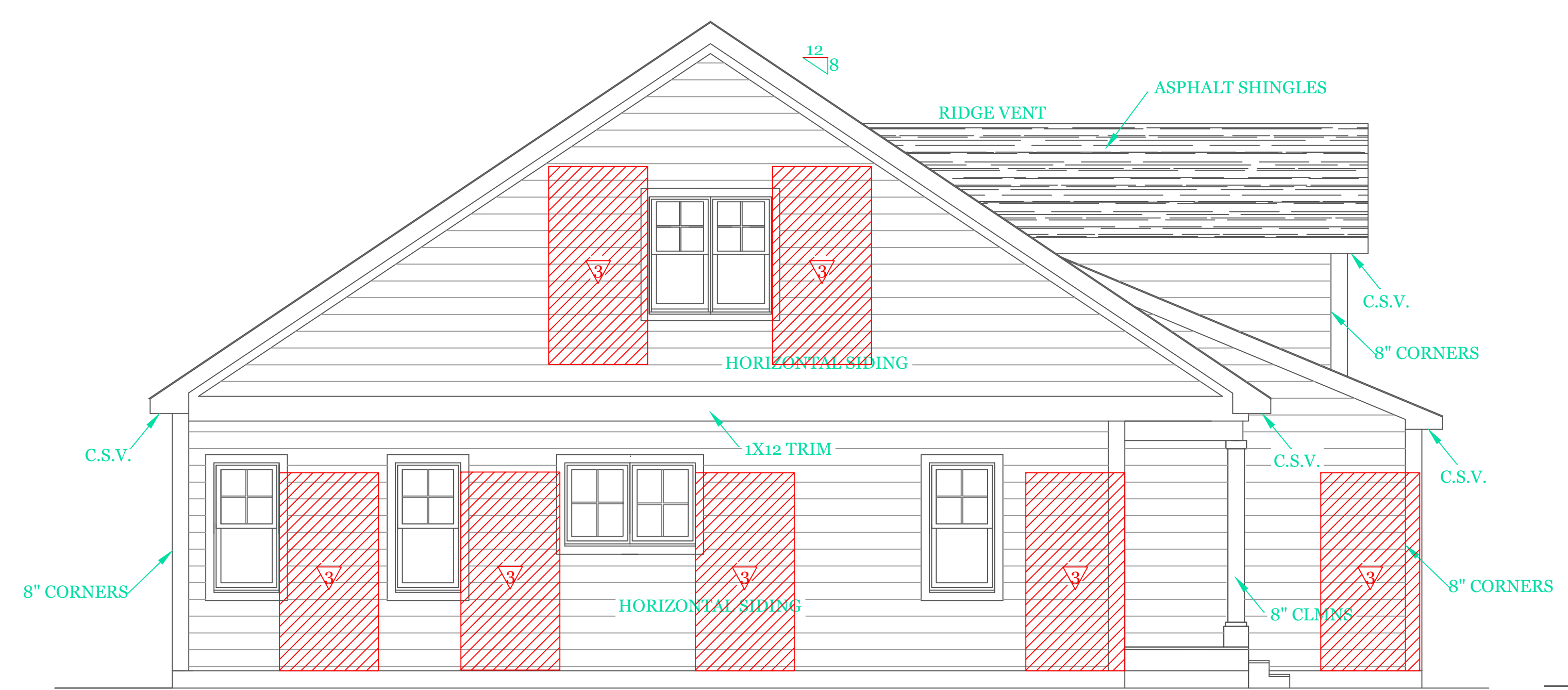


FRONT ELEVATION (1936 s.f.)

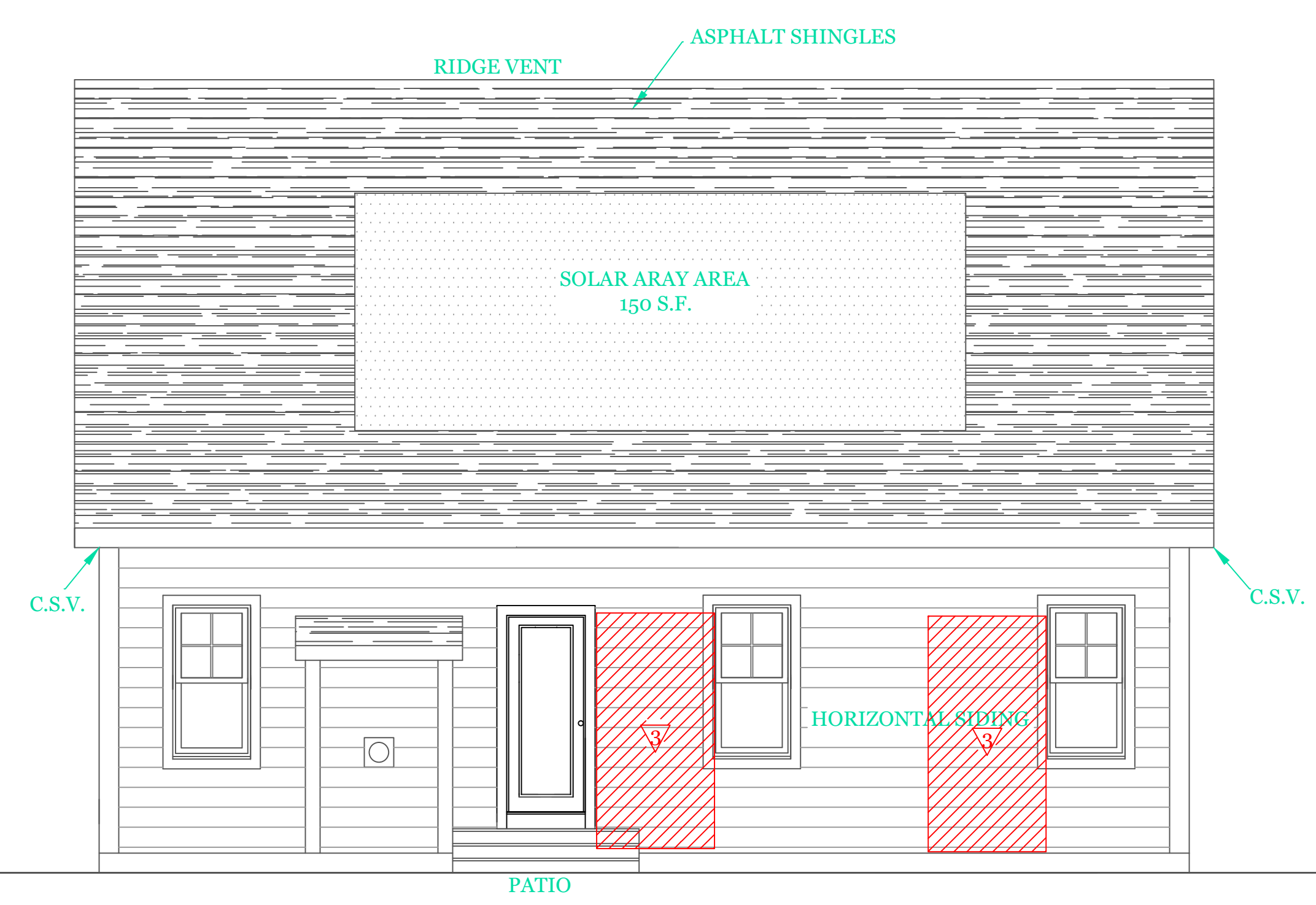
WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING PANELS INSTALLED VERTICALLY
 W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

NOTES:
 GENERAL NOTES:
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 2. The General contractor shall fully comply with the 6TH Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
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 WORCESTER, MA
 (508) 450-3461

UNIT 'B' 1936 S.F.
 HIGGINS FARM AT
 SALISBURY HILL

ELEVATIONS

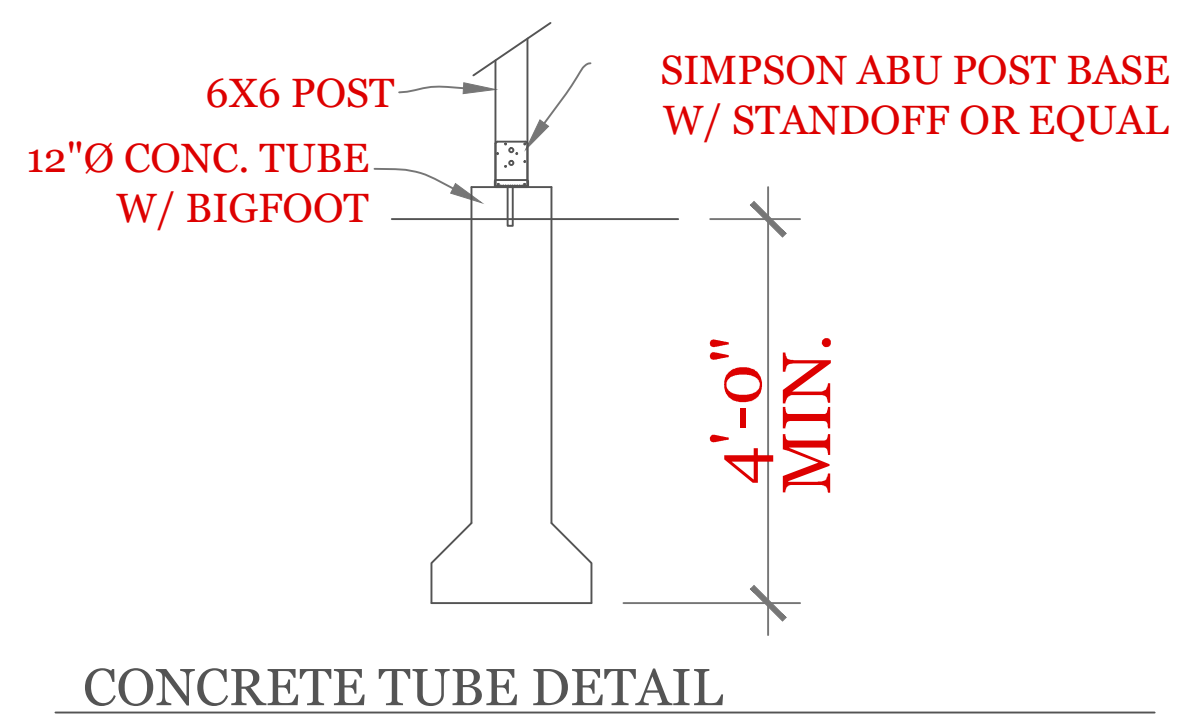
UNIT 'B' GR

DATE: 9/21/2022 R5/5
 SCALE: 1/4" = 1'-0"
 DRAWN BY: RCS
 CHECKED BY: MJB

Sheet 1 OF 5

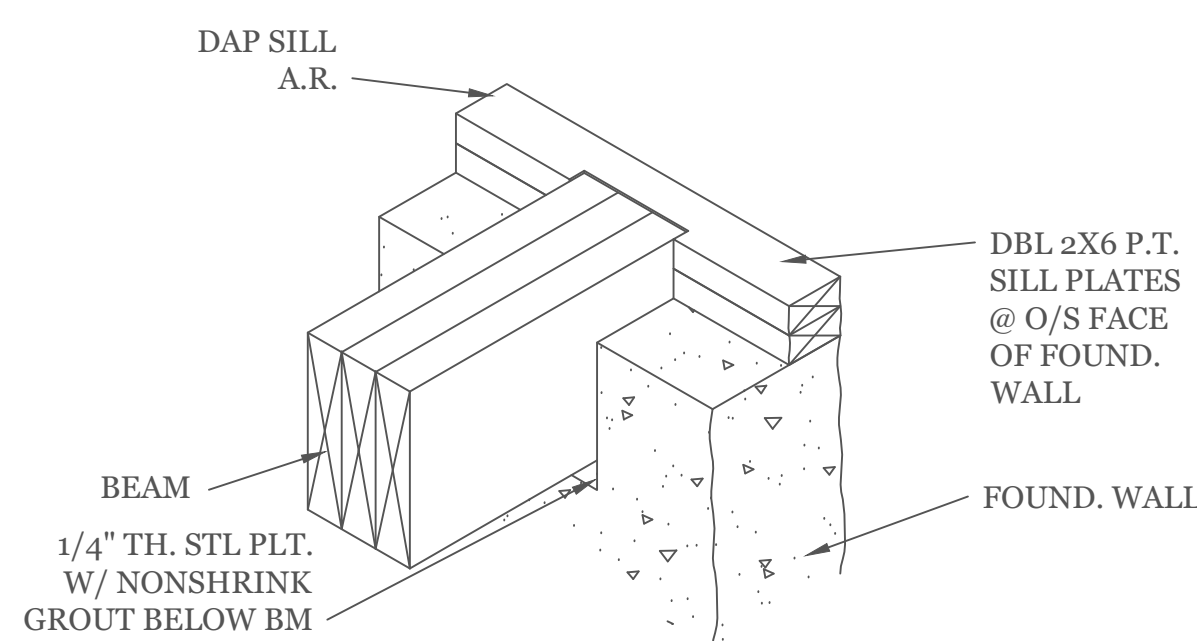
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TYPICAL FOUNDATION DETAILS



CONCRETE TUBE DETAIL

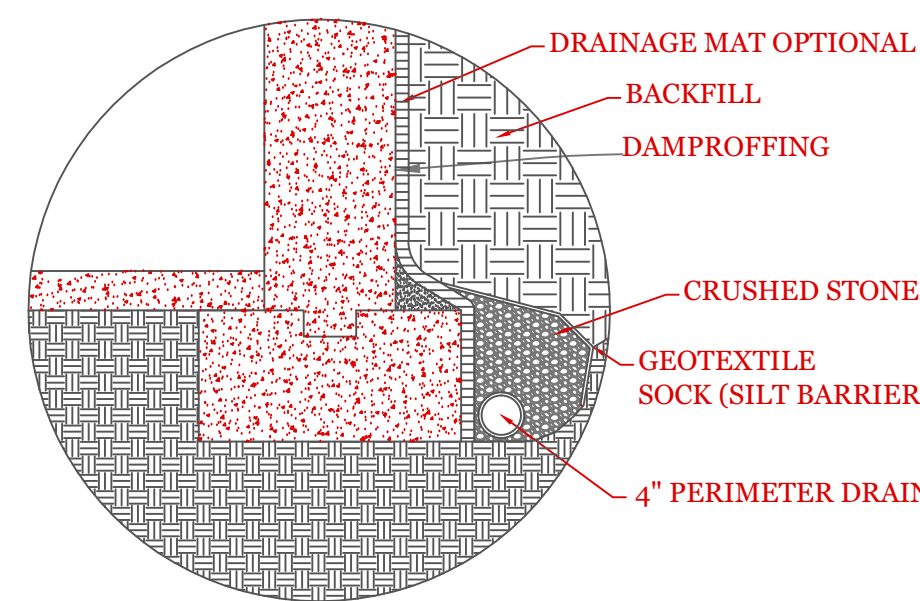
NTS



NOTE: TOP OF BM. & DBL SILL PLATES ARE EQUAL

BEAM POCKET DETAIL

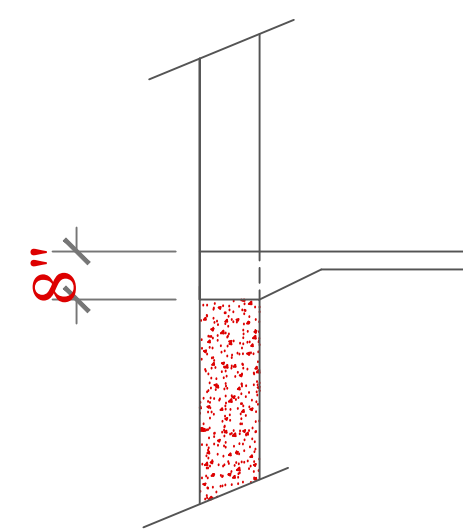
SCALE: 1" = 1'-0"



TYP. PERIMETER DRAIN DETAIL

NOTE: SLOPE DRAIN TO SUMP OR OUTFALL

NTS

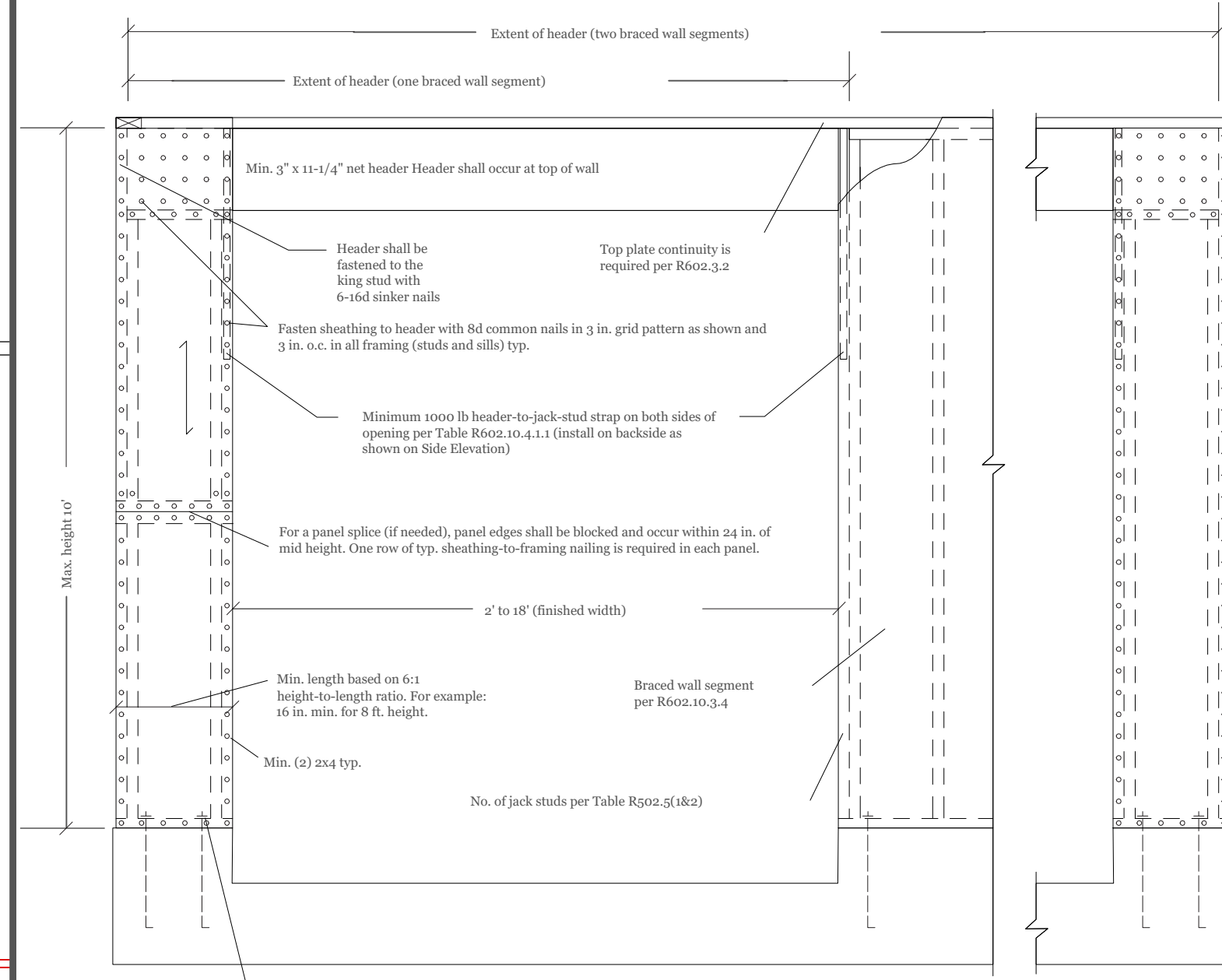


GARAGE FLOOR @ O.H.D.

3/8" = 1'-0"

SYMBOL SCHEDULE;

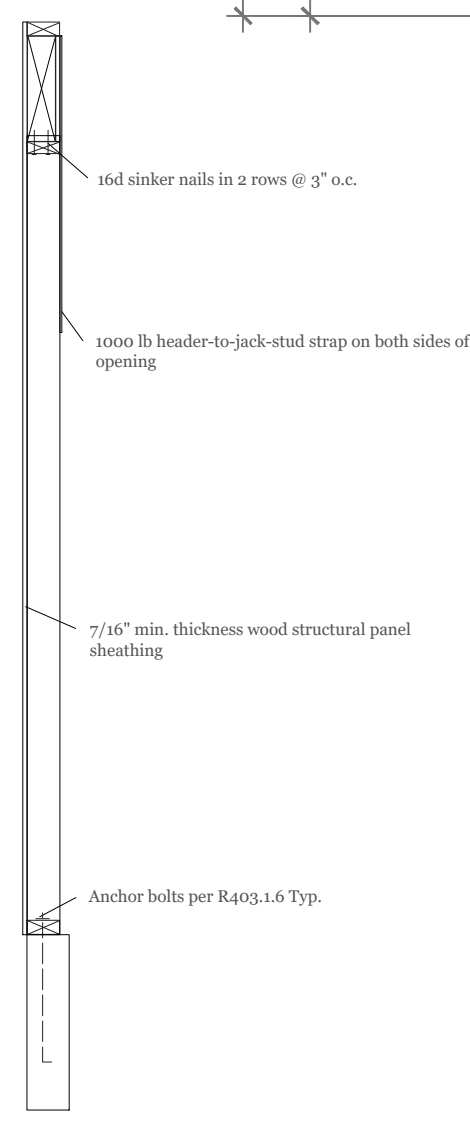
- V VENT
- SC SMOKE AND CARBON DETECTOR
- S SMOKE DETECTOR
- H HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK



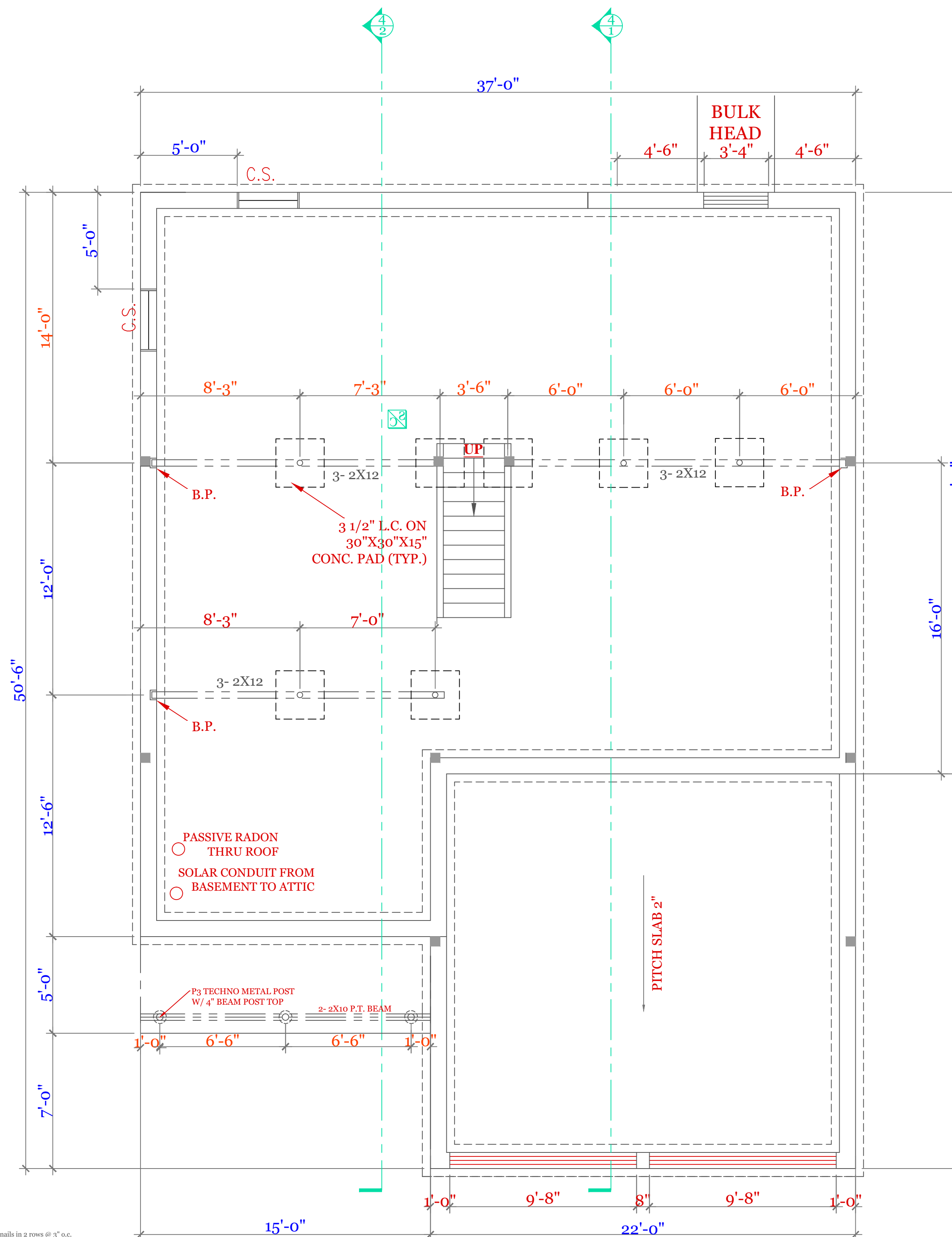
OUTSIDE ELEVATION

PORTAL FRAME

NTS



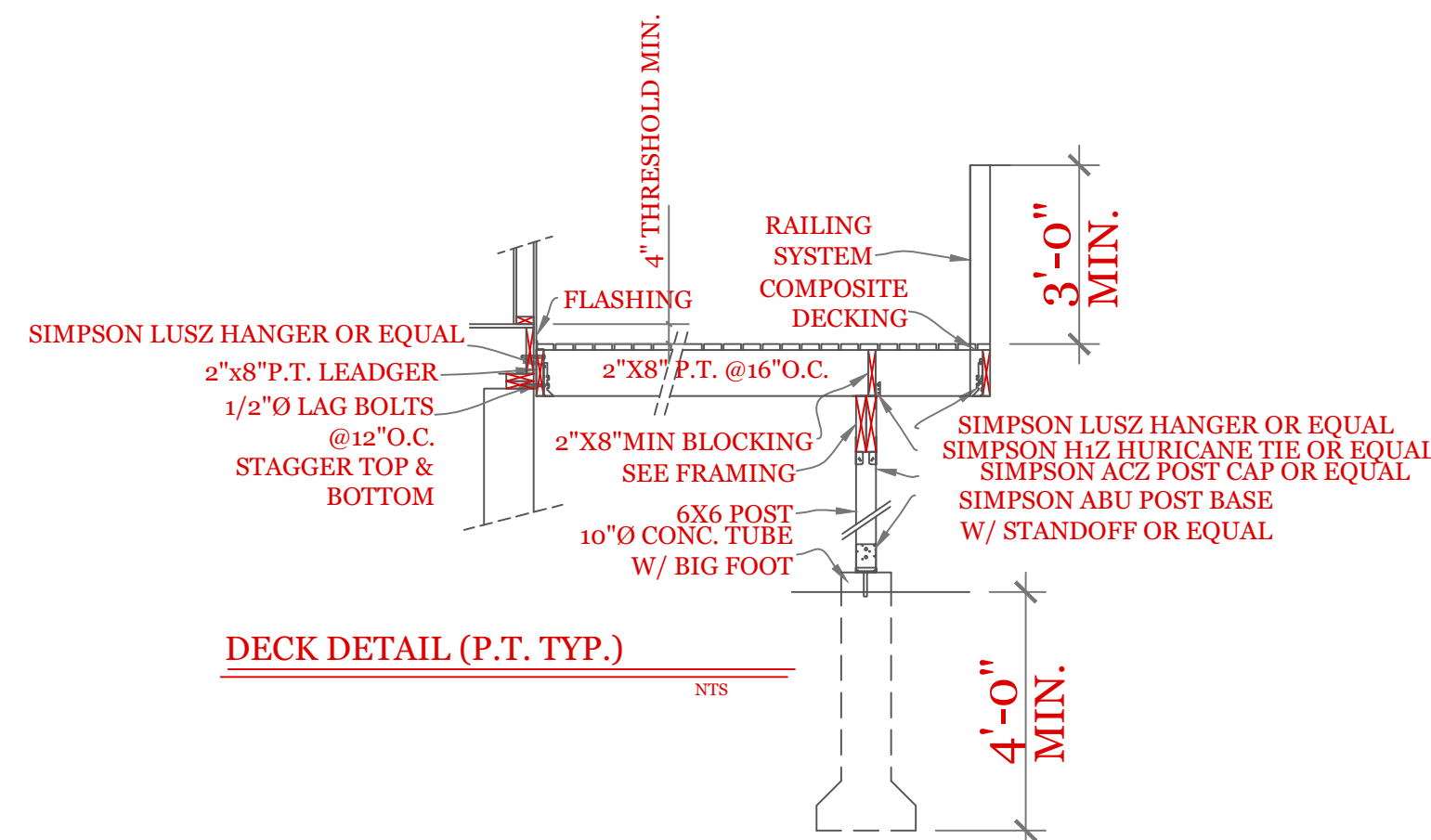
SECTION



DEPRESS TO 8" BELOW FLOOR LEVEL
SEE PORTAL FRAME FOR ANCHOR LOCATION

FOUNDATION PLAN

■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT.



DECK DETAIL (P.T. TYP.)

NTS

NOTES:

FOUNDATION NOTES:

1. HOUSE FOUNDATION- 10"X7"-10" FOUR ON 20"X10" CONTINUOUS KEYED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL
2. GARAGE FOUNDATION- 8"X4"-0" MINIMUM POUR ON 16"X8" CONTINUOUS KEYED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
3. BASEMENT FLOOR-MINIMUM 4" CONCRETE (3,500 PSI)
4. GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TOWARD OVERHEAD GARAGE DOOR
5. ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
6. ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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Holden Ma.
Phone No. (508) 466-3202

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UNIT 'B'
HIGGINS FARM AT
SALISBURY HILL

FOUNDATION PLAN
PORTAL FRAME
DETAILS

UNIT 'B' GR

DATE: 9/21/2022 R5/5

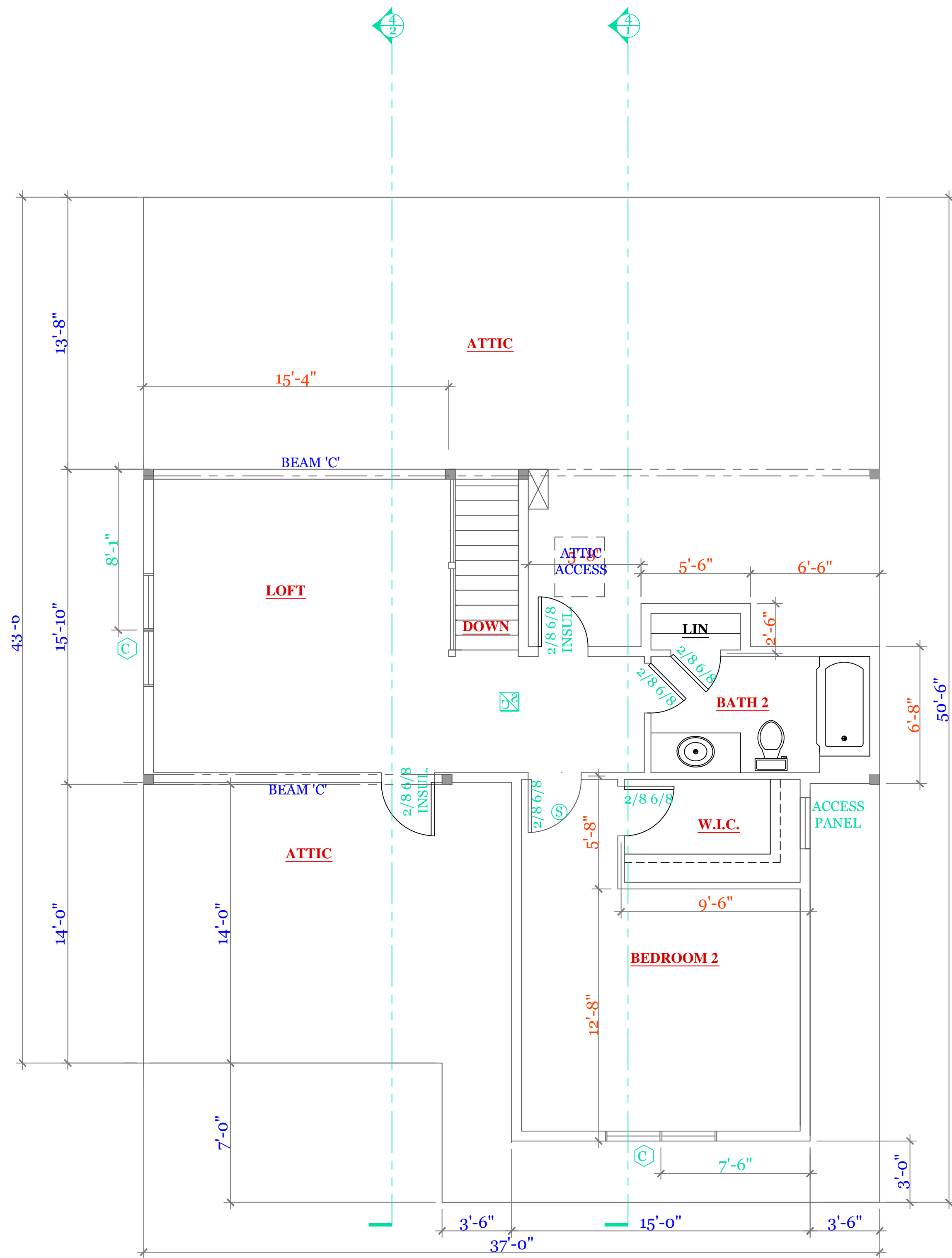
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DRAWN BY: RCS

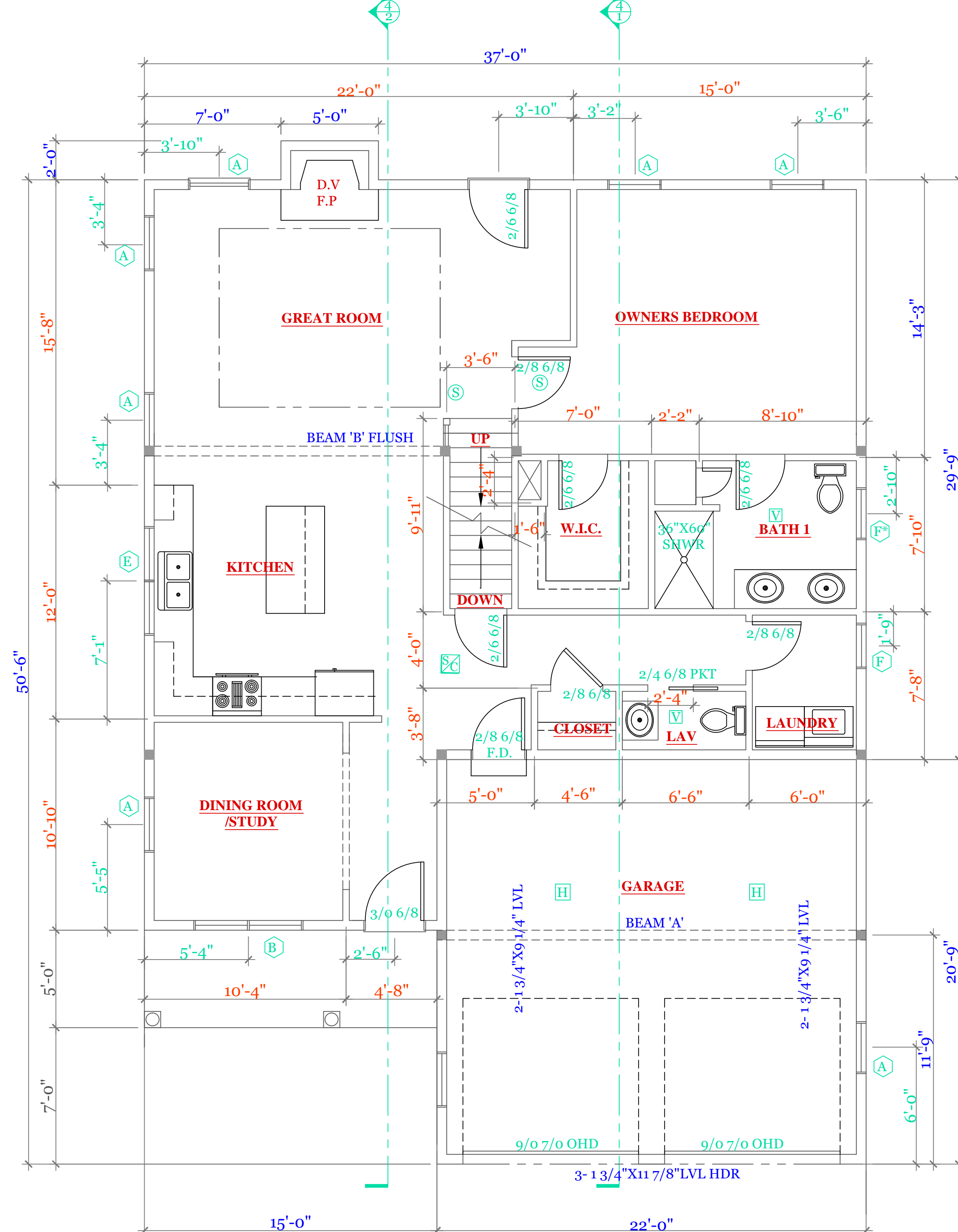
CHECKED BY: MJB

Sheet 2 OF 5

2



SECOND FLOOR PLAN (705 s.f.)



FIRST FLOOR PLAN (1231 s.f. GARAGE 448 s.f.)

WINDOW SCHEDULE: LANSING			
INDEX	QUA	CATALOG	ROUGH OPENING
A	7	10000-1	2'-8 1/8" X 5'-6"
B	1	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	5'-4 1/2" X 4'-9"
D	2	13000-1	2'-4 1/8" X 3'-6"
E	1	14000-1	4'-0 1/2" X 3'-5 3/8"
F	2	15000-1 TEMPERED	2'-8" X 2'-8"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

SYMBOL SCHEDULE:

- VENT
- SMOKE AND CARBON DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR
- BEARING POINT
W/ SQUASH BLOCK

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**UNIT 'B'
 HIGGINS FARM AT
 SALISBURY HILL**

**FIRST & SECOND
 FLOOR PLAN
 WINDOW SCHEDULE**

UNIT 'B' GR

DATE: 9/21/2022 R5/5

SCALE: 1/4"=1'-0"

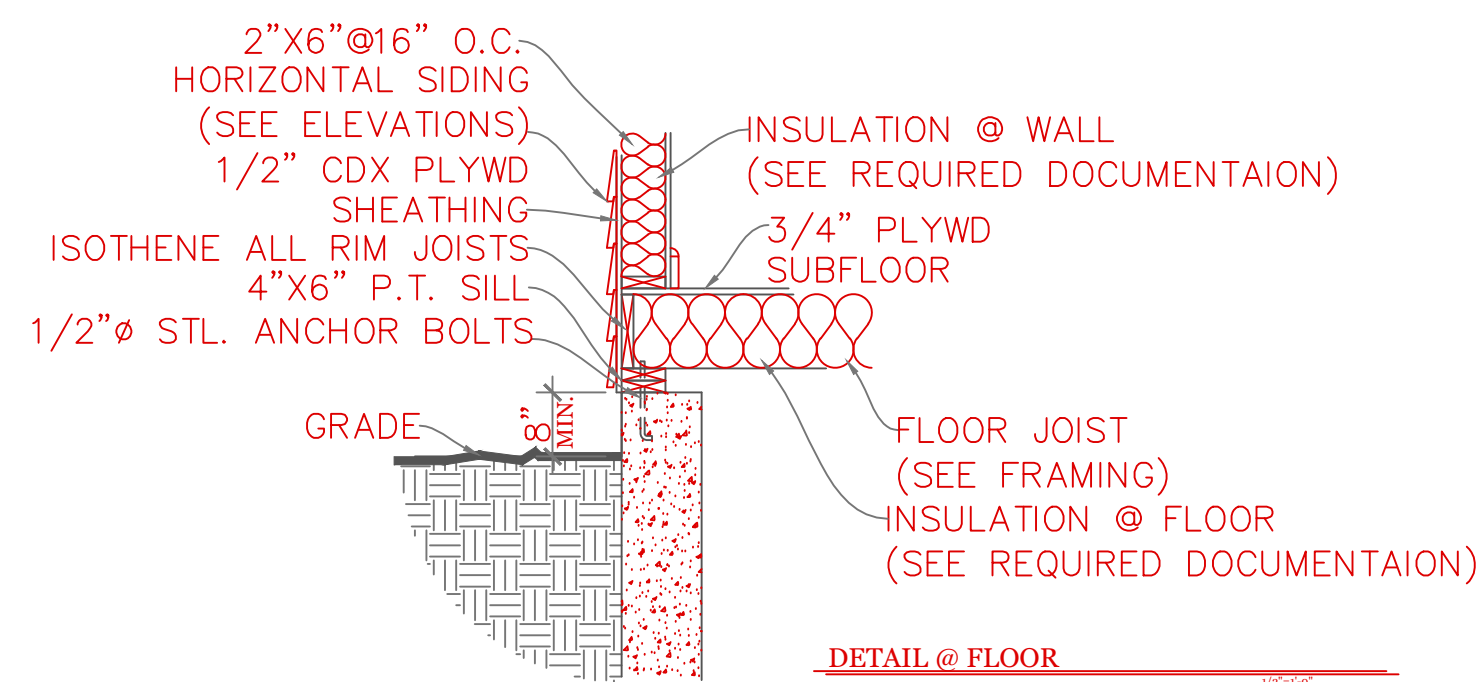
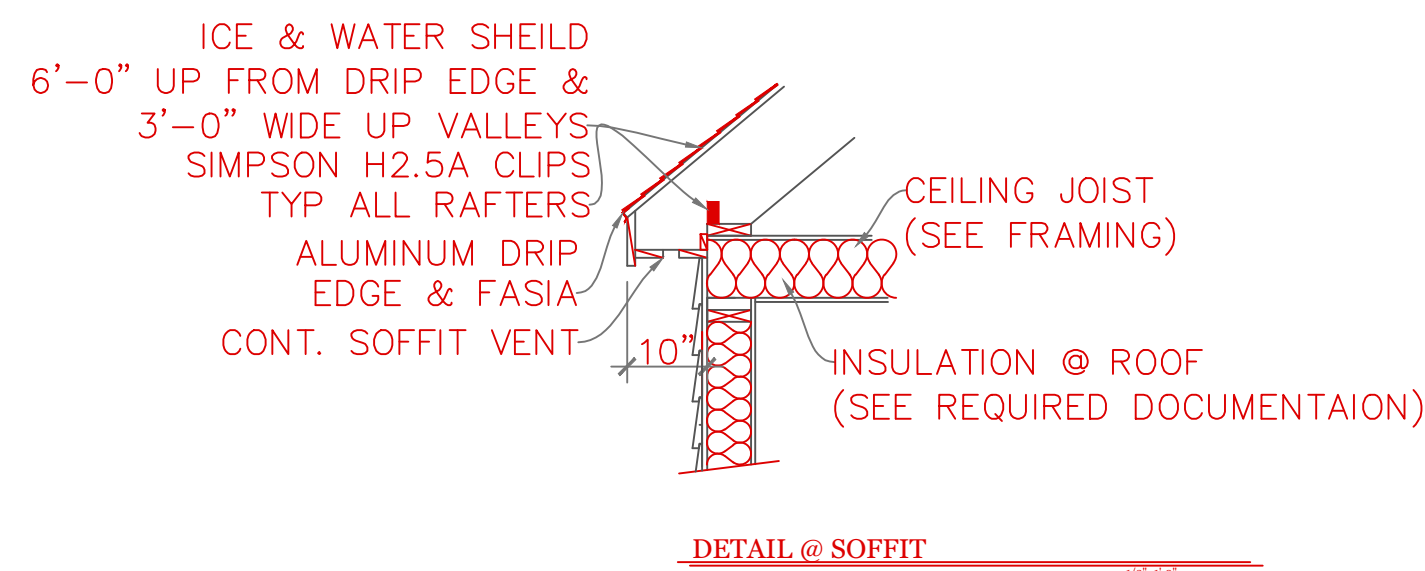
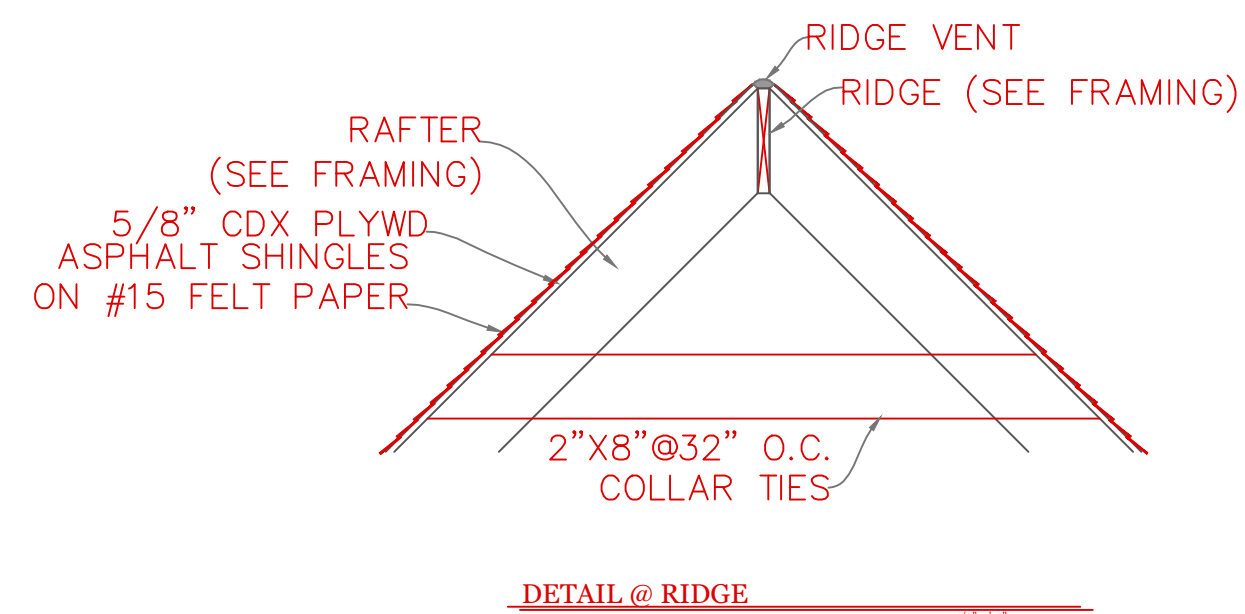
DRAWN BY: RCS

CHECKED BY: MJB

Sheet 3 OF 5

3

TYPICAL BUILDING SECTION

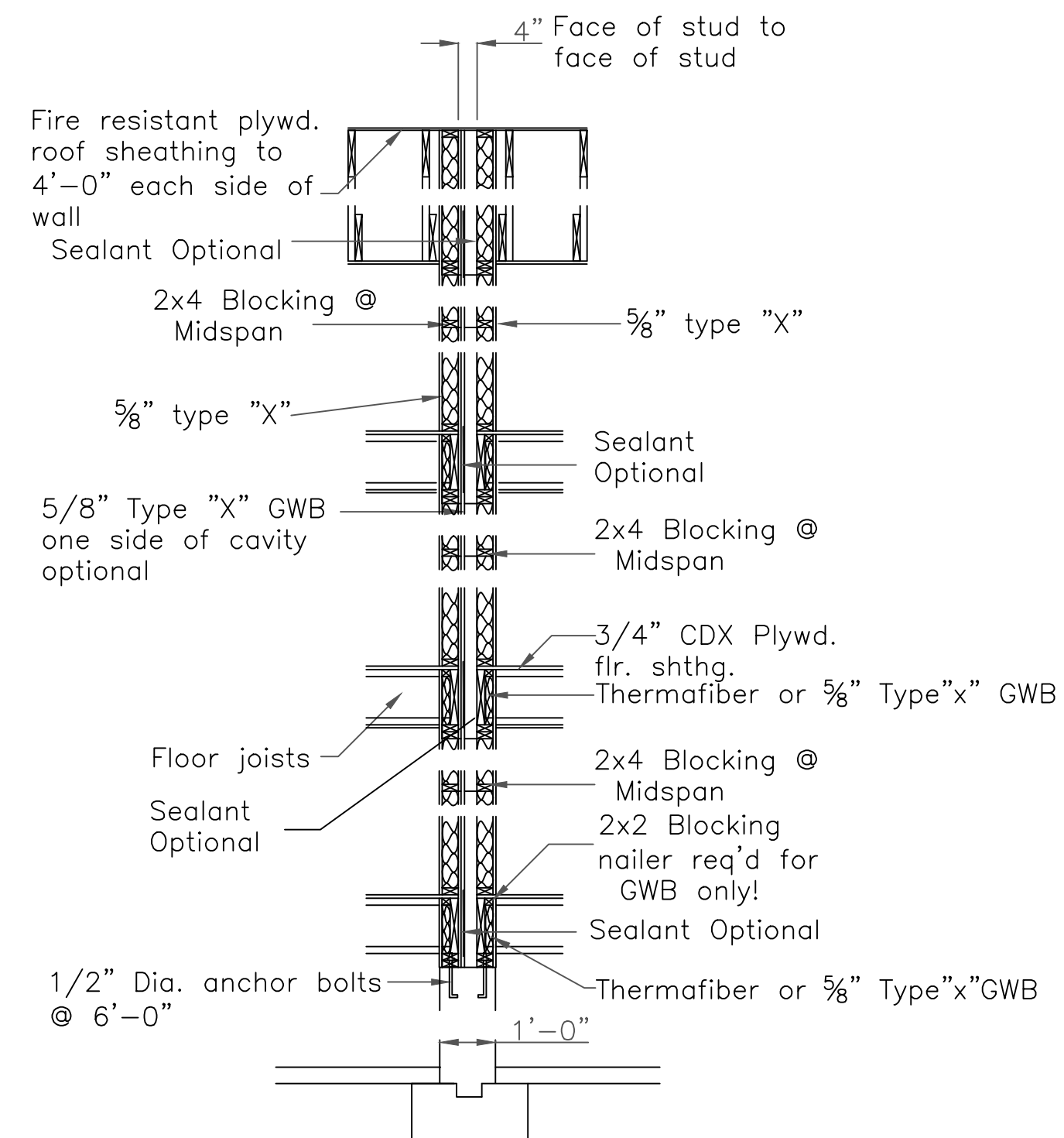


CONSTRUCTION SCHEDULE:

	(UNLESS NOTED OTHERWISE ON PLAN)
1 RIDGE BOARD:	SEE FRAMING W/ RIDGE VENT
2 ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT
3 ROOF SHEATHING:	1/2" O.S.B. w/ 15# ROOF FELT
4 ROOF RAFTER:	SEE FRAMING
5 COLLAR TIES:	1X8 @ 32" O.C.
6 DRIP EDGE:	ALUMINUM DRIP EDGE
7 SOFFIT:	CONT. SOFFIT VENT
8 CEILING JOIST:	SEE FRAMING
9 ATTIC INSULATION:	R-38
10 EXT WALL:	2"X6" @ 16" O.C.
11 EXT. SHEATHING:	1/2" O.S.B. w/ HOUSE WRAP
12 EXT. FINISH:	SEE ELEVATIONS
13 INSULATION @ WALL:	R-21
14 INTERIOR WALL:	2"X4" @ 16" O.C.
15 SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED
16 JOIST:	SEE FRAMING.
17 SILL:	2"X6" P.T. SILL W/ 2X6 KD TOP PLATE
18 INSULATION @ FLOOR:	R-30
19 ANCHOR:	1/2" Ø STL ANCHOR BOLTS
20 BEAM:	SEE FRAMING PLAN
21 COLUMN:	3 1/2" L.C.
22 FND. WALL:	10"X7'-10" CONC. WALL
23 SLAB:	SEE FOUNDATION NOTES
24 FOOTING:	20"X10" CONT. KEYED FTNG
25 CONC. PAD:	30"X30"X15" CONC. PAD

NOTES: -ISOETHENE ALL RIM JOISTS (OPTIONAL)
-ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS

DUPLEX BUILDING ONLY



A Fire Resistance Rated Wall Section
For more information see U.L. LISTING --- U-305 3/8"-1'-0"
STC Rating = 56
Bearing wall Rating = 1 HR.

TABLE 402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

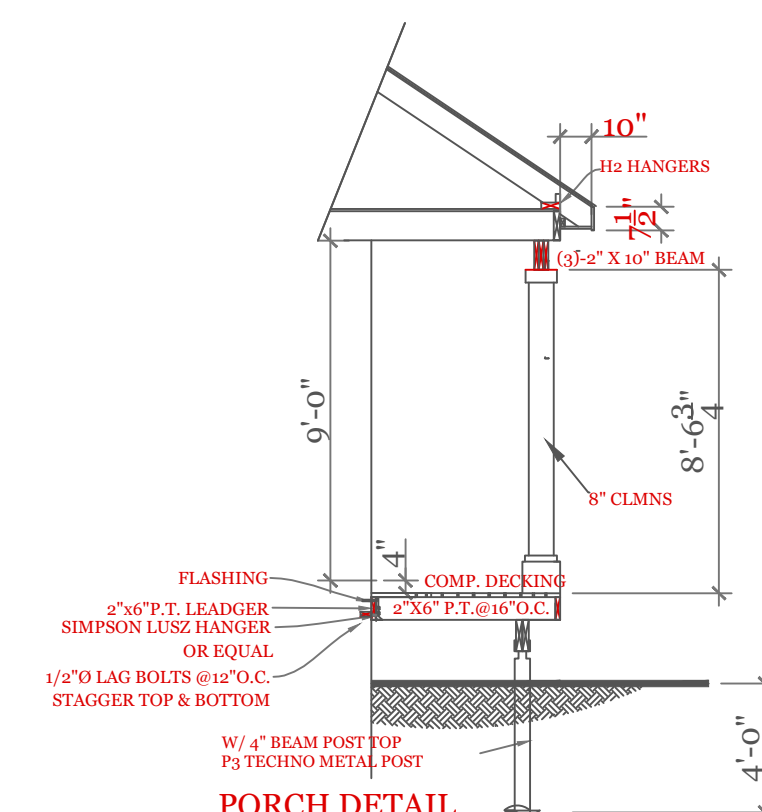
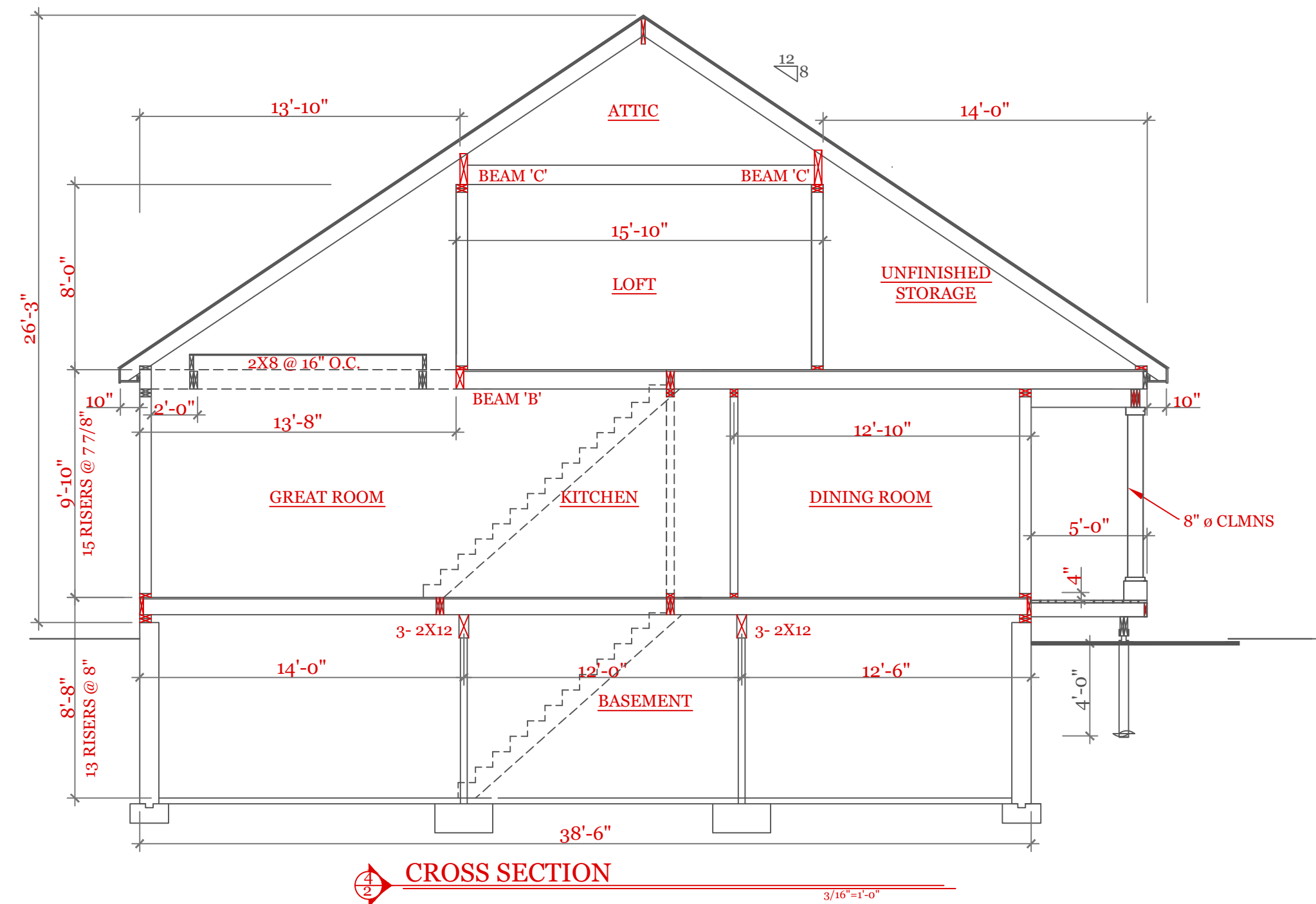
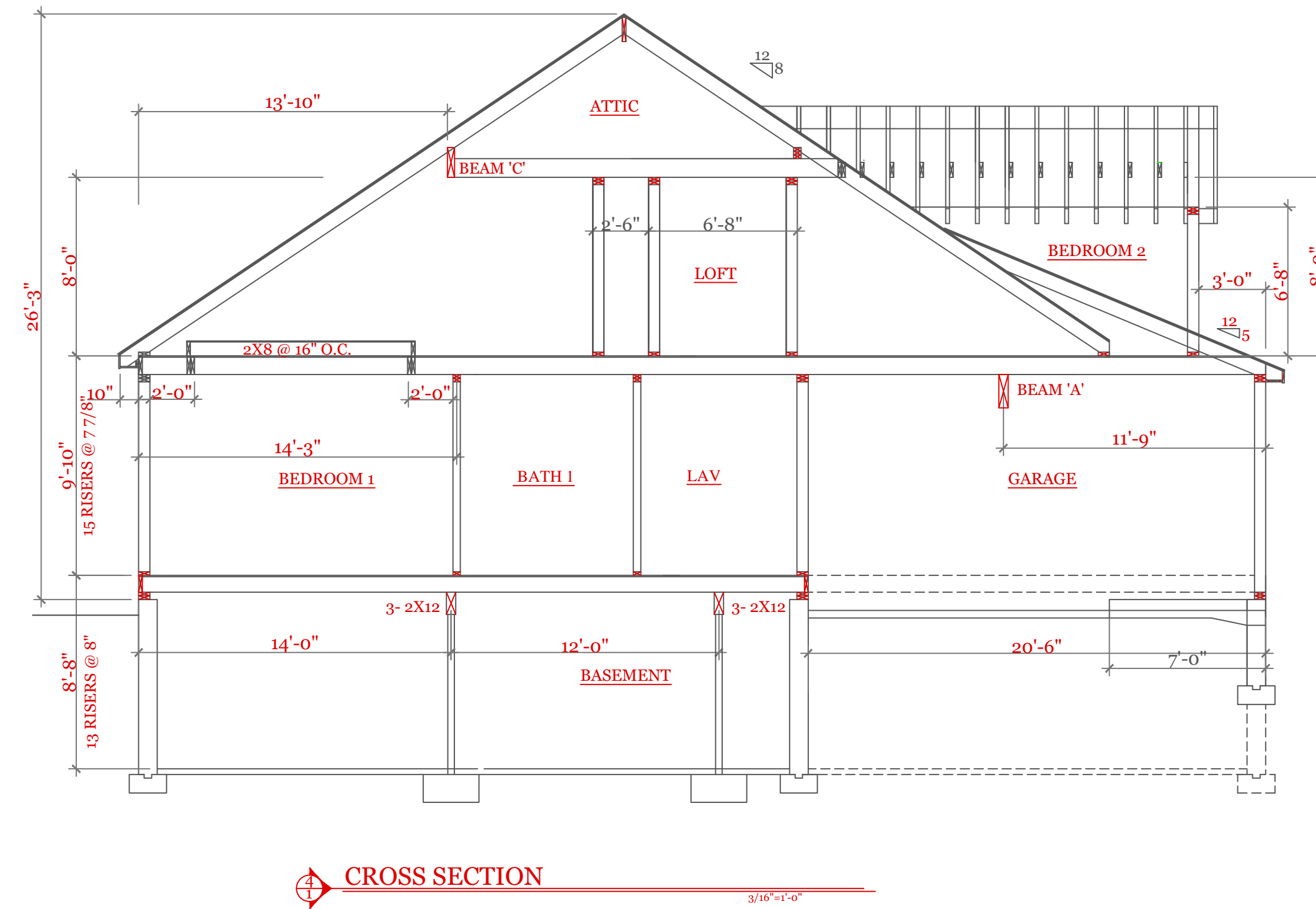
CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^b	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE[®] AND MASSACHUSETTES 780 CMR 9TH EDITION

- For SI: 1 foot = 304.8 mm.
- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
 - The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 - "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
 - There are no SHGC requirements in the Marine Zone.
 - Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
 - Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
 - The second R-value applies when more than half the insulation is on the interior of the mass wall.
 - For impact rated fenestration complying with Section R301.21.2of the *International Residential Code* or Section 1608.1.2of the *International Building Code*, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	§5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	§5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)



NOTES:

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UNIT 'B'
HIGGINS FARM AT
SALISBURY HILL

BUILDING SECTIONS
CONSTR. SCHEDULE
DESIGN CRITERIA

UNIT 'B' GR

DATE: 9/21/2022 R5/5

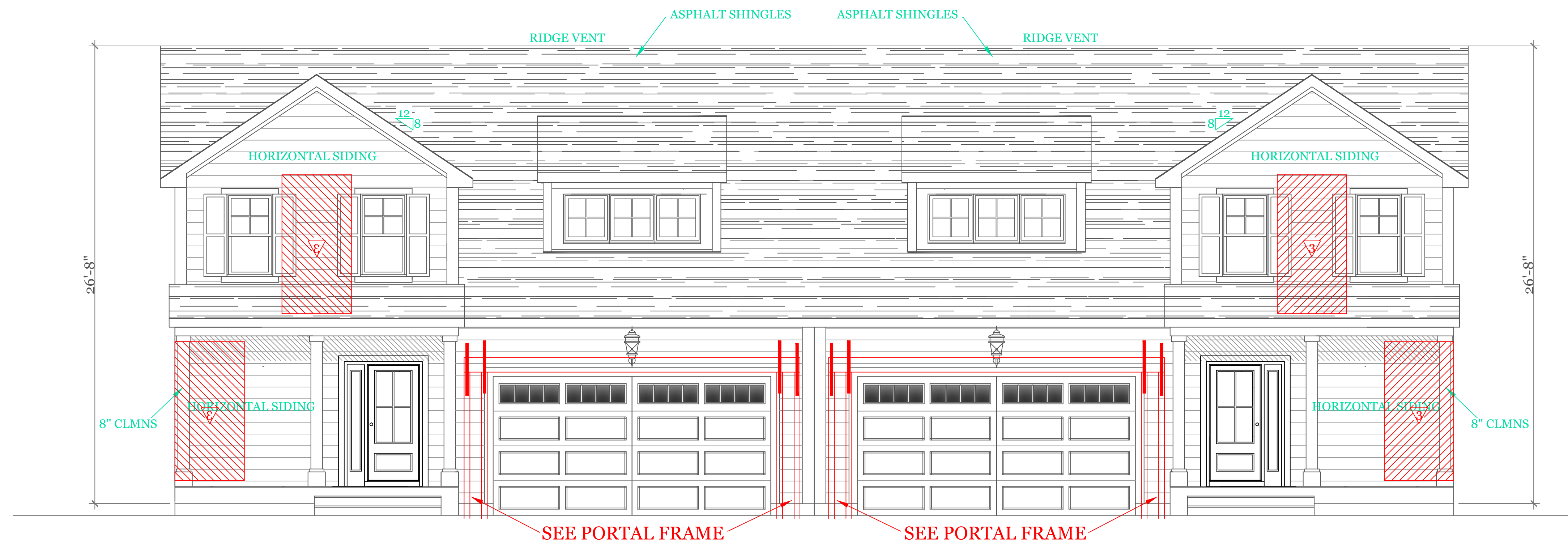
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DRAWN BY: RCS

CHECKED BY: MJB

Sheet 4 OF 5

4



FRONT ELEVATION (1734 s.f.)

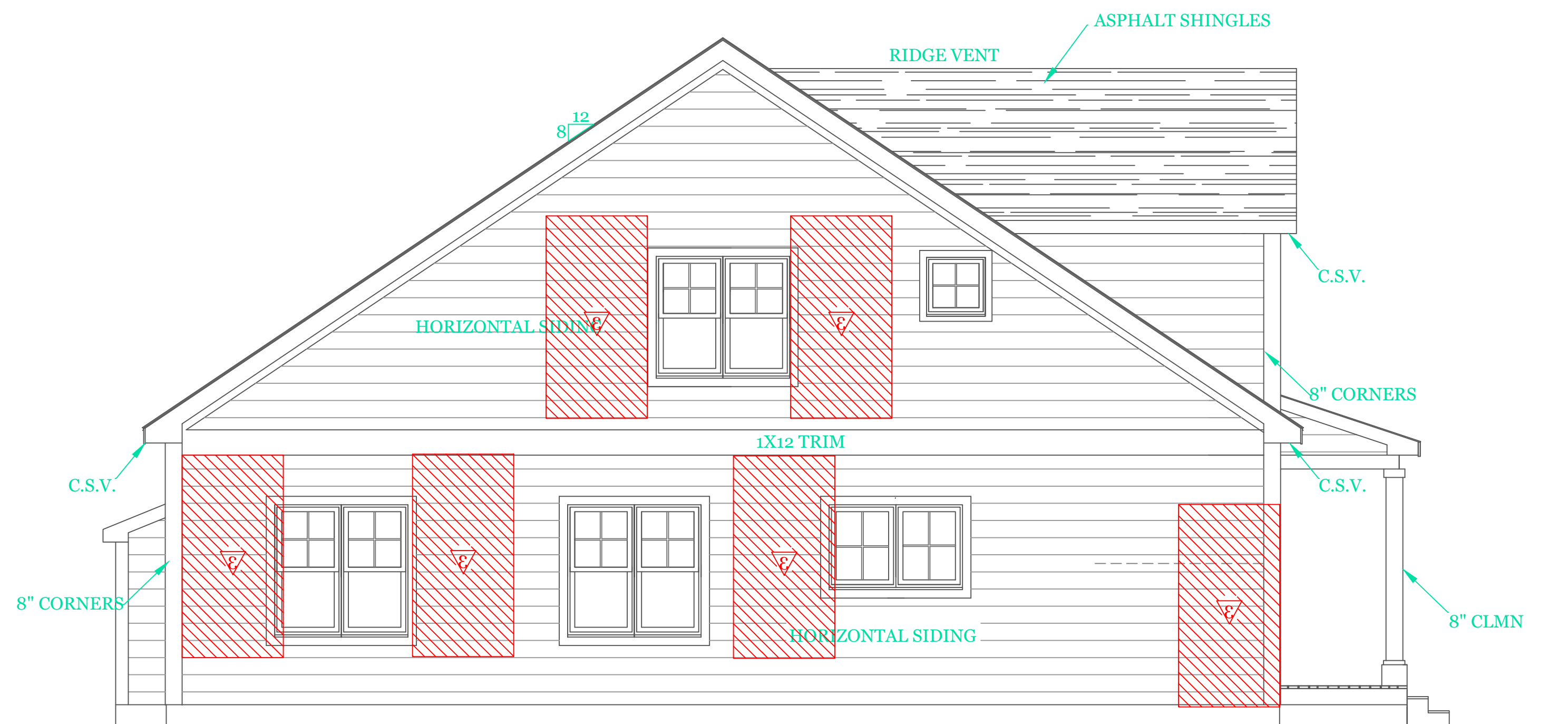
WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING. PANELS INSTALLED VERTICALLY W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE[®] AND MASSACHUSETTES 780 CMR 9TH EDITION

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LEFT SIDE ELEVATION

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	\$5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	\$5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)

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UNIT 'C' DUPLEX
HIGGINS FARM AT
SALISBURY HILL

FRONT & LEFT SIDE
ELEVATIONS
DESIGN CRITERIA

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

DRAWN BY: RCS

CHECKED BY: MJB

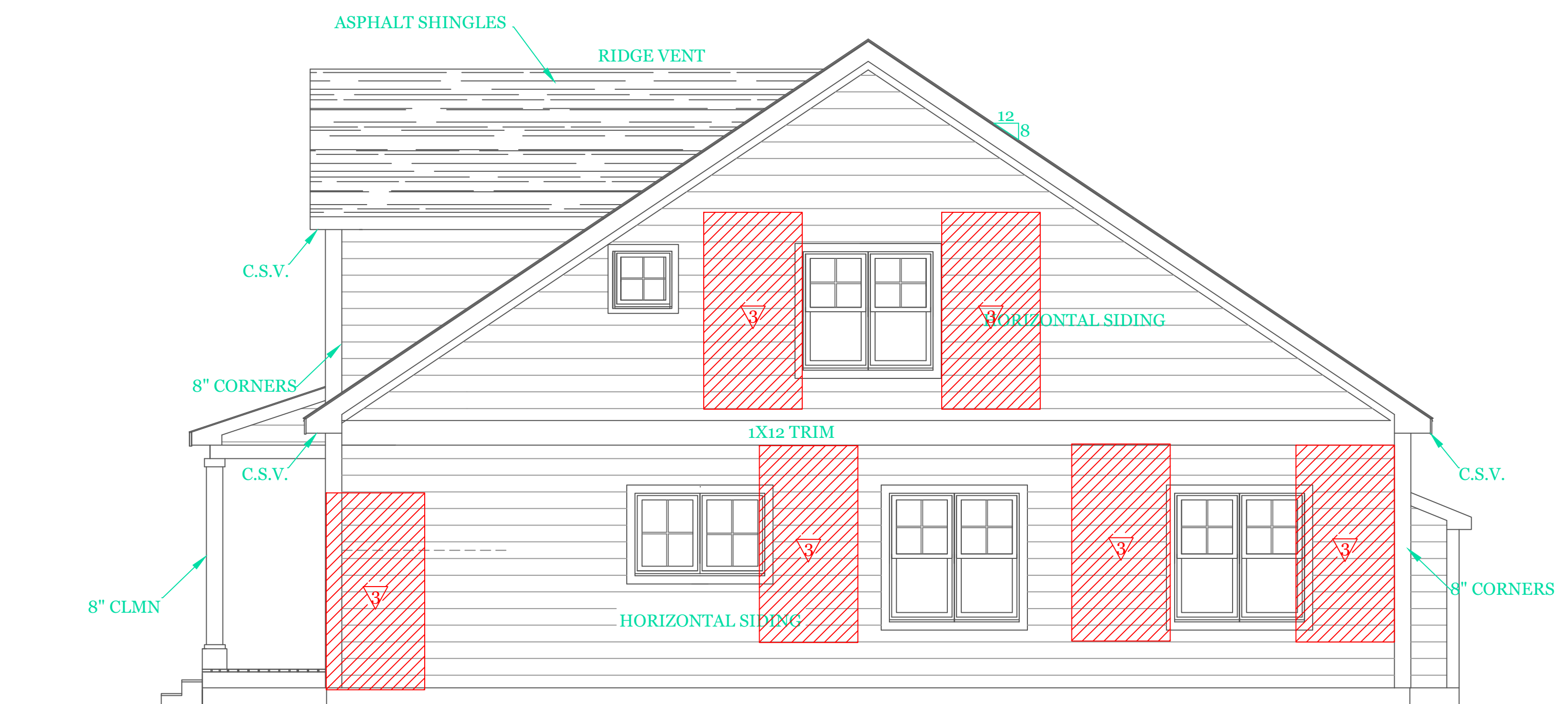
Sheet 1 OF 8

1



REAR ELEVATION

1/4"=1'-0"



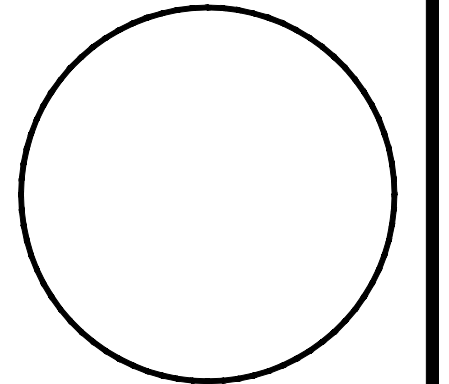
RIGHT SIDE ELEVATION

1/4"=1'-0"

NOTES:

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UNIT 'C' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

REAR & RIGHT SIDE
 ELEVATIONS

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

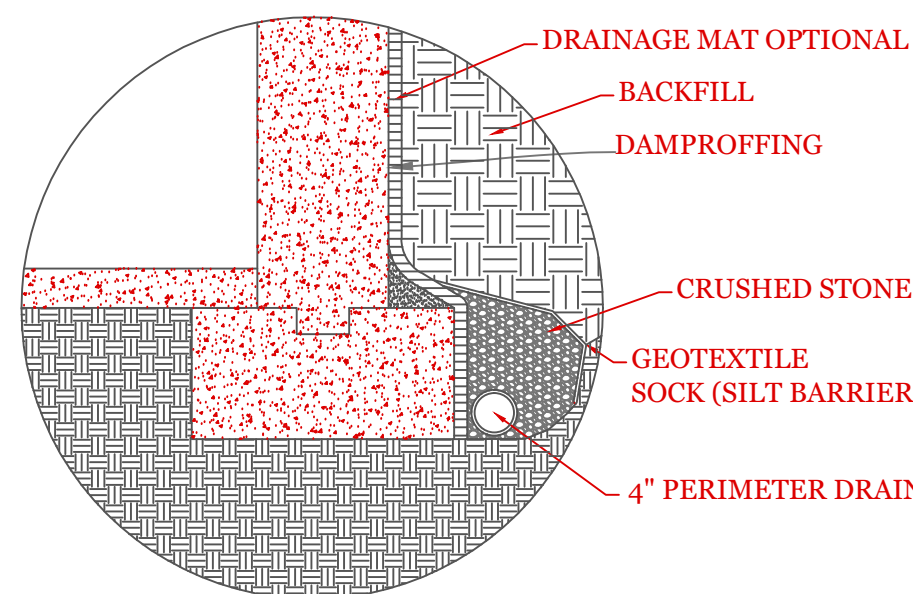
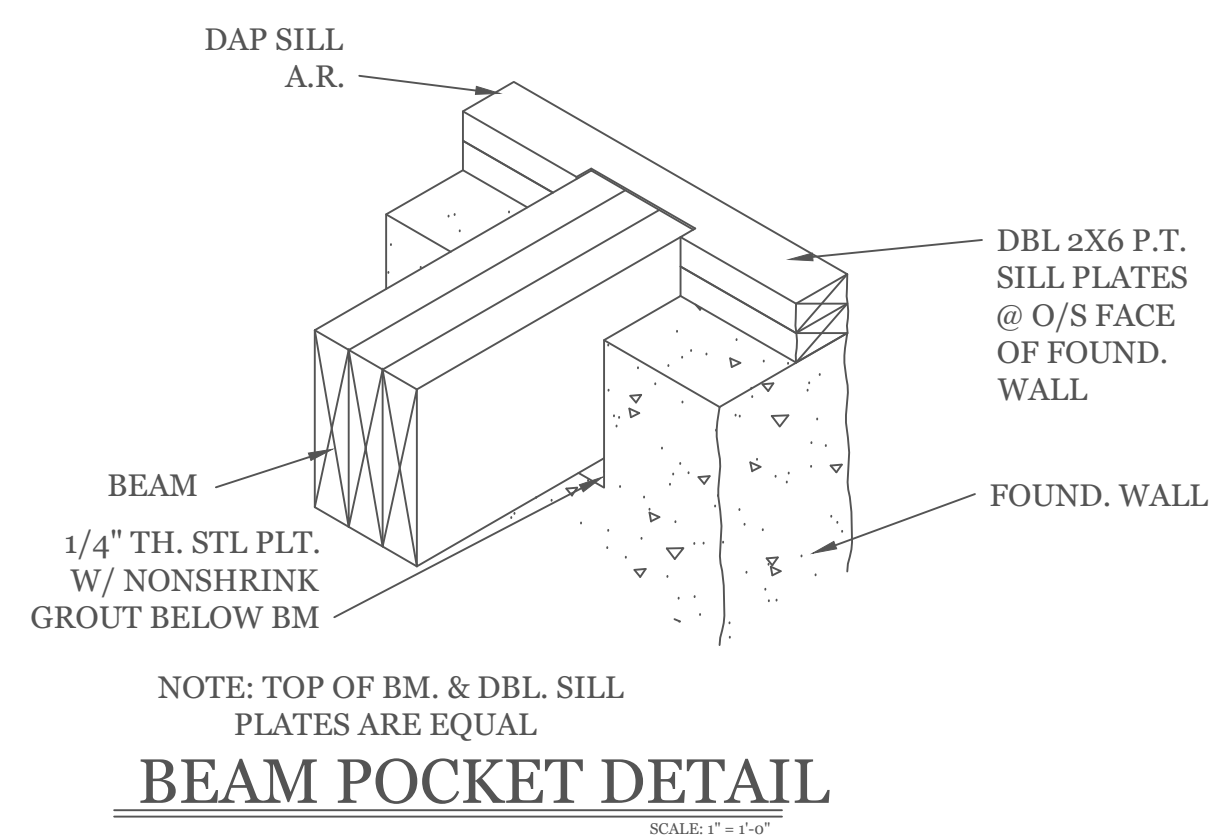
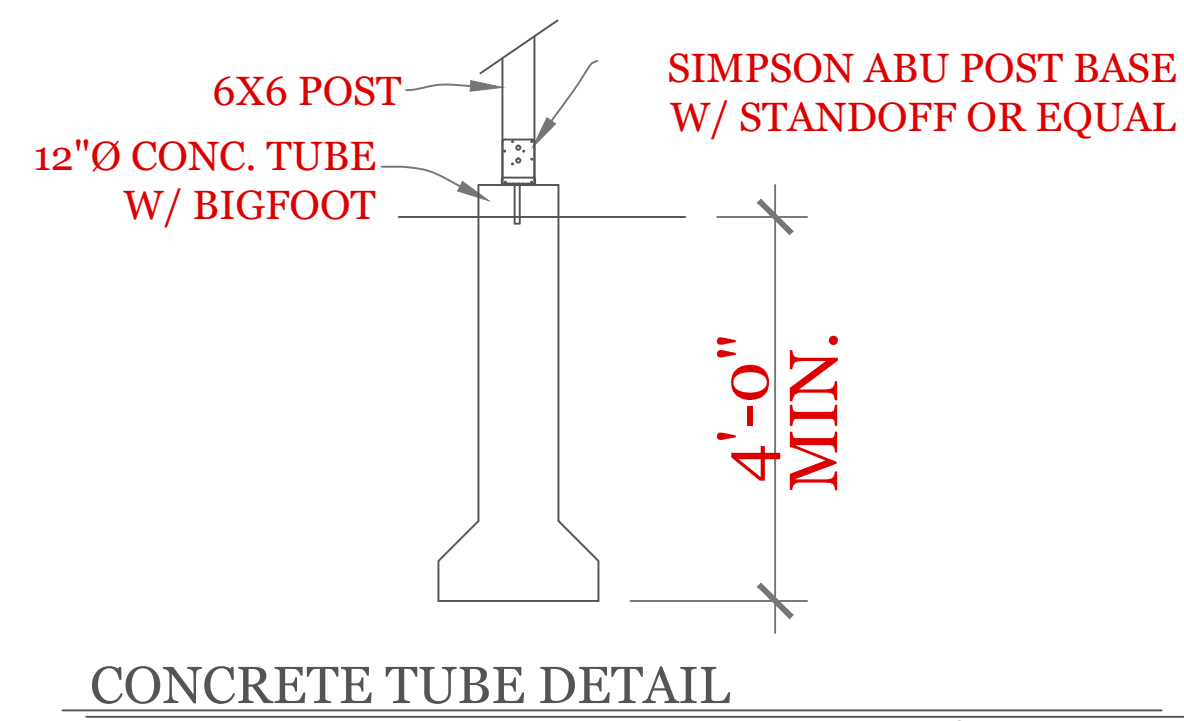
DRAWN BY: RCS

CHECKED BY: MJB

Sheet 2 OF 8

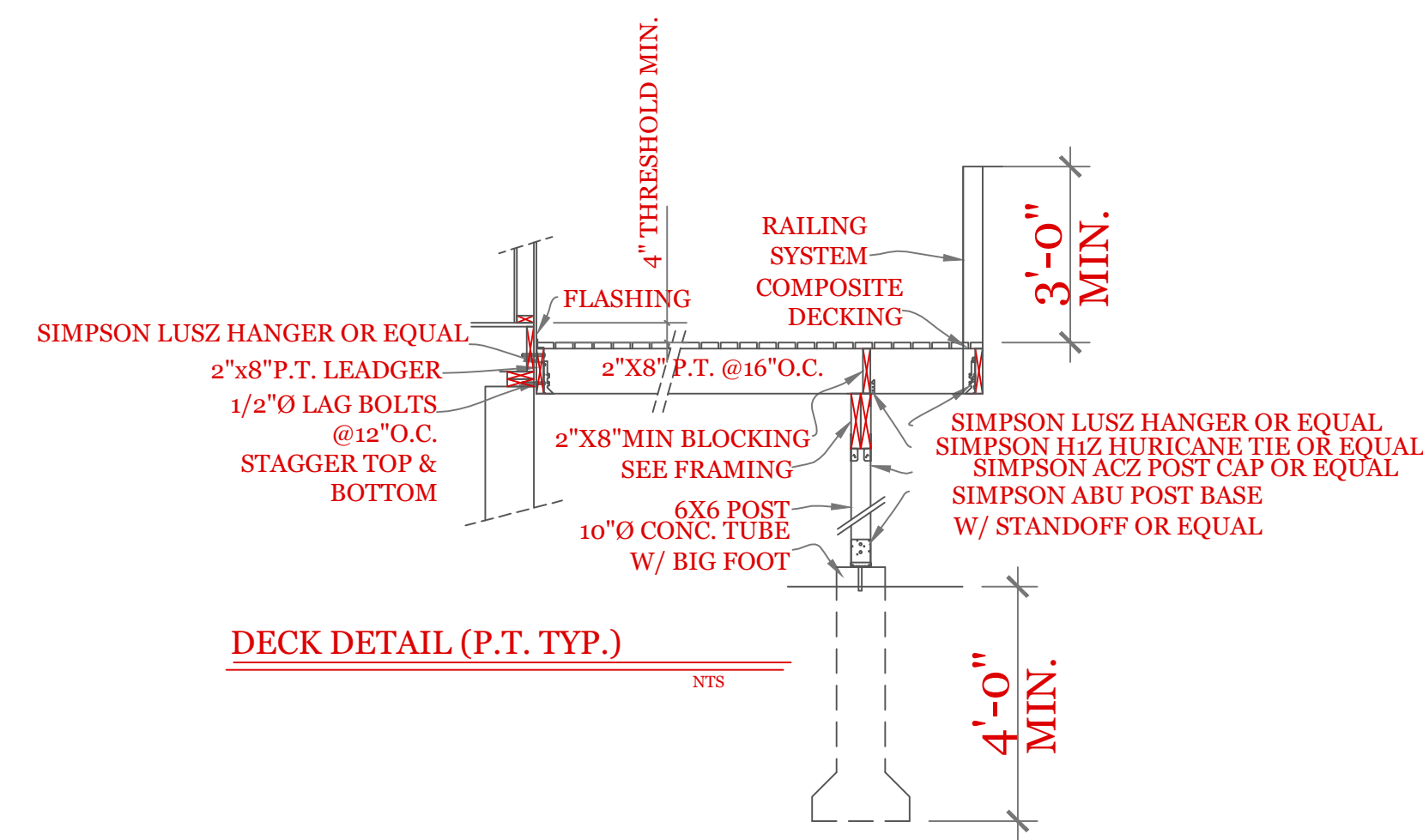
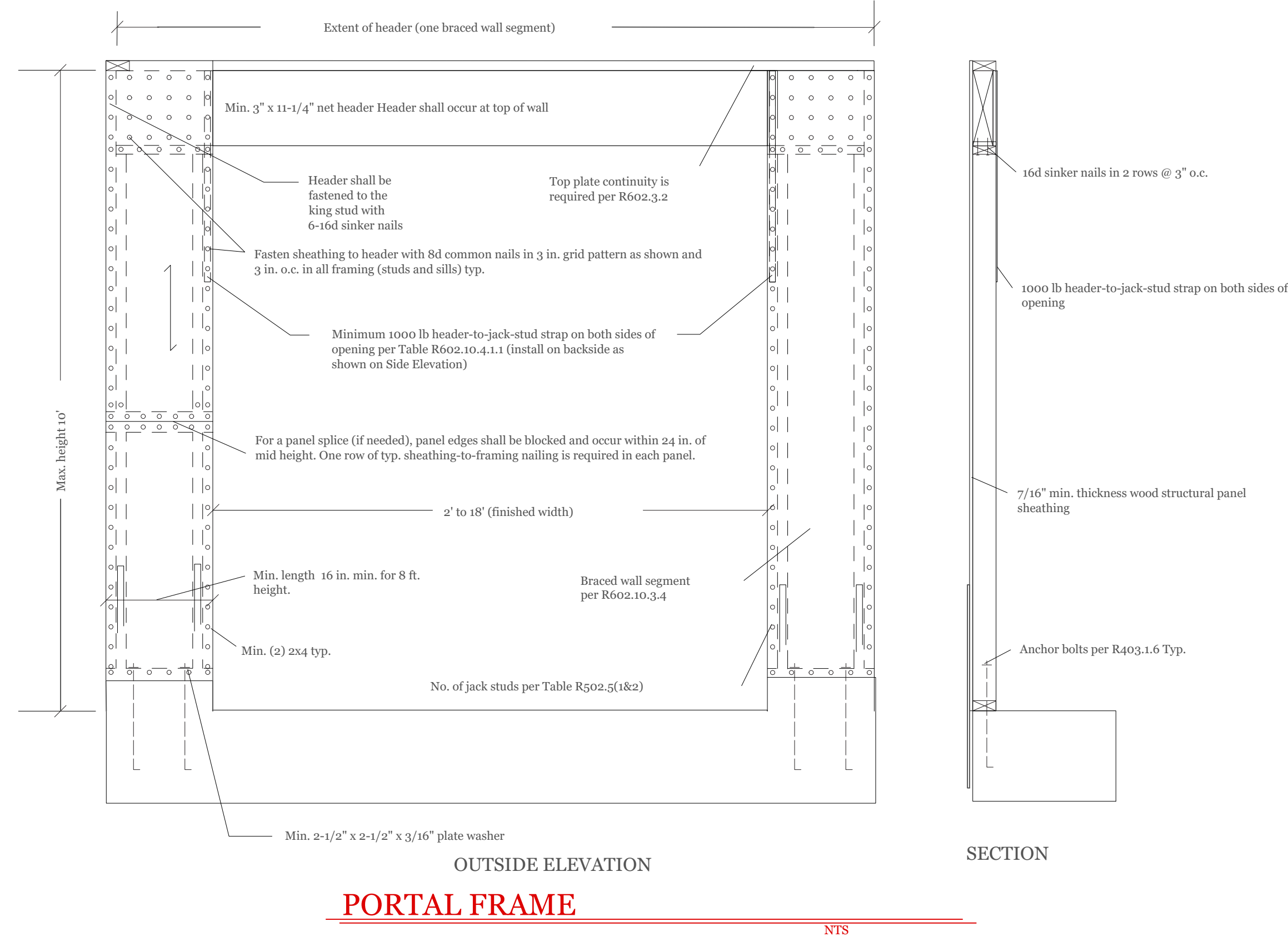
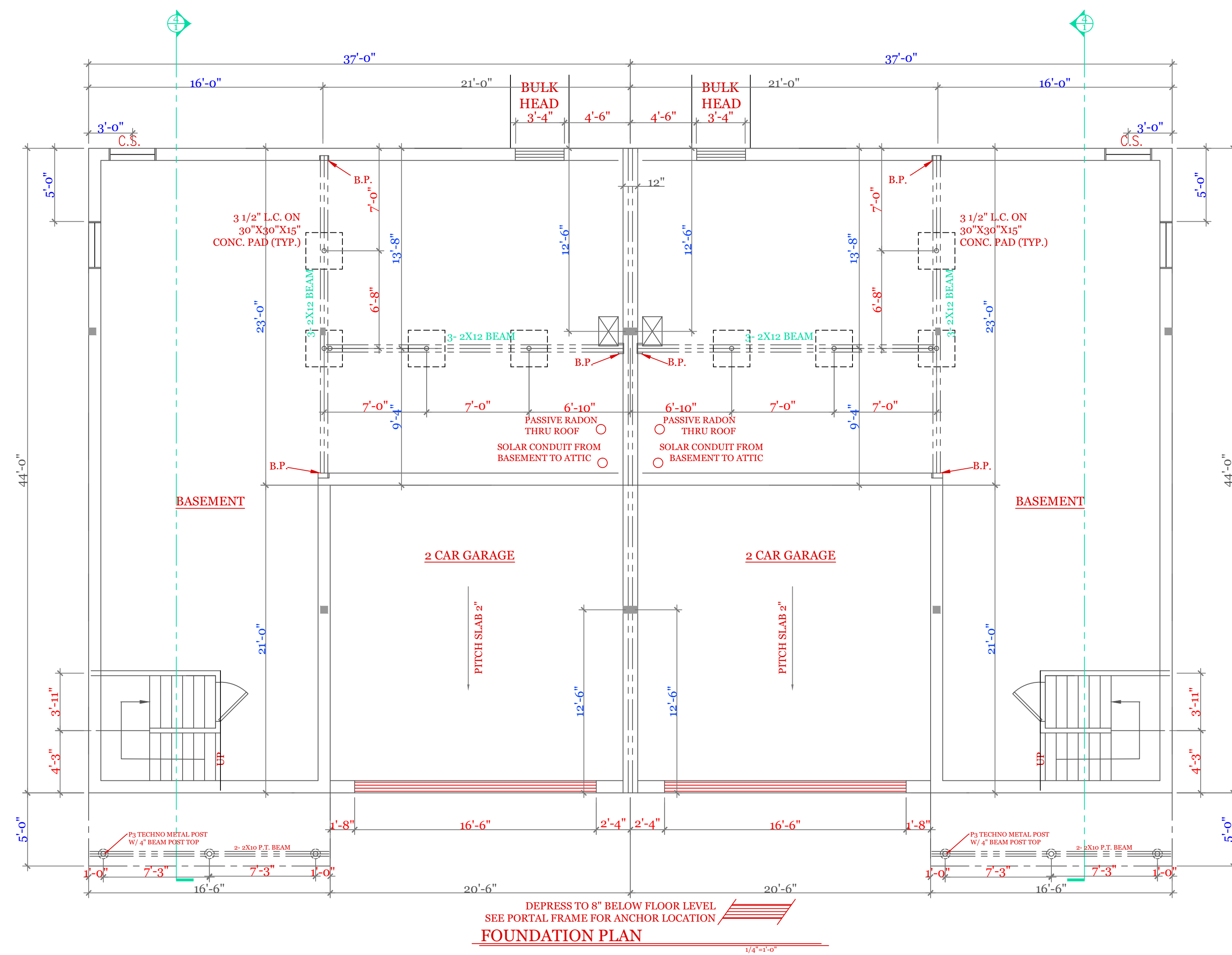
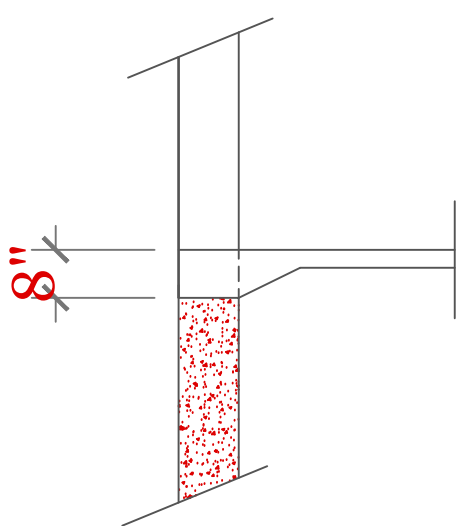
2

TYPICAL FOUNDATION DETAILS



GARAGE FLOOR @ O.H.D.

3/8" = 1'-0"



SYMBOL SCHEDULE:

V	VENT
SC	SMOKE AND CARBON DETECTOR
S	SMOKE DETECTOR
H	HEAT DETECTOR
■	BEARING POINT W/ SQUASH BLOCK

NOTES:

- FOUNDATION NOTES:**
- HOUSE FOUNDATION-10"x7'-10" POUR ON 20"x10" CONTINUOUS KEYPED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL.
 - GARAGE FOUNDATION- 8"x4'-0" MINIMUM POUR ON 16"x8" CONTINUOUS KEYPED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
 - BASEMENT FLOOR-MINIMUM 4" CONCRETE (3,500 PSI)
 - GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500 PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TWARD OVERHEAD GARAGE DOOR
 - ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
 - ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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UNIT 'C' DUPLEX
HIGGINS FARM AT
SALISBURY HILL

FOUNDATION PLAN
PORTAL FRAME
DETAILS

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

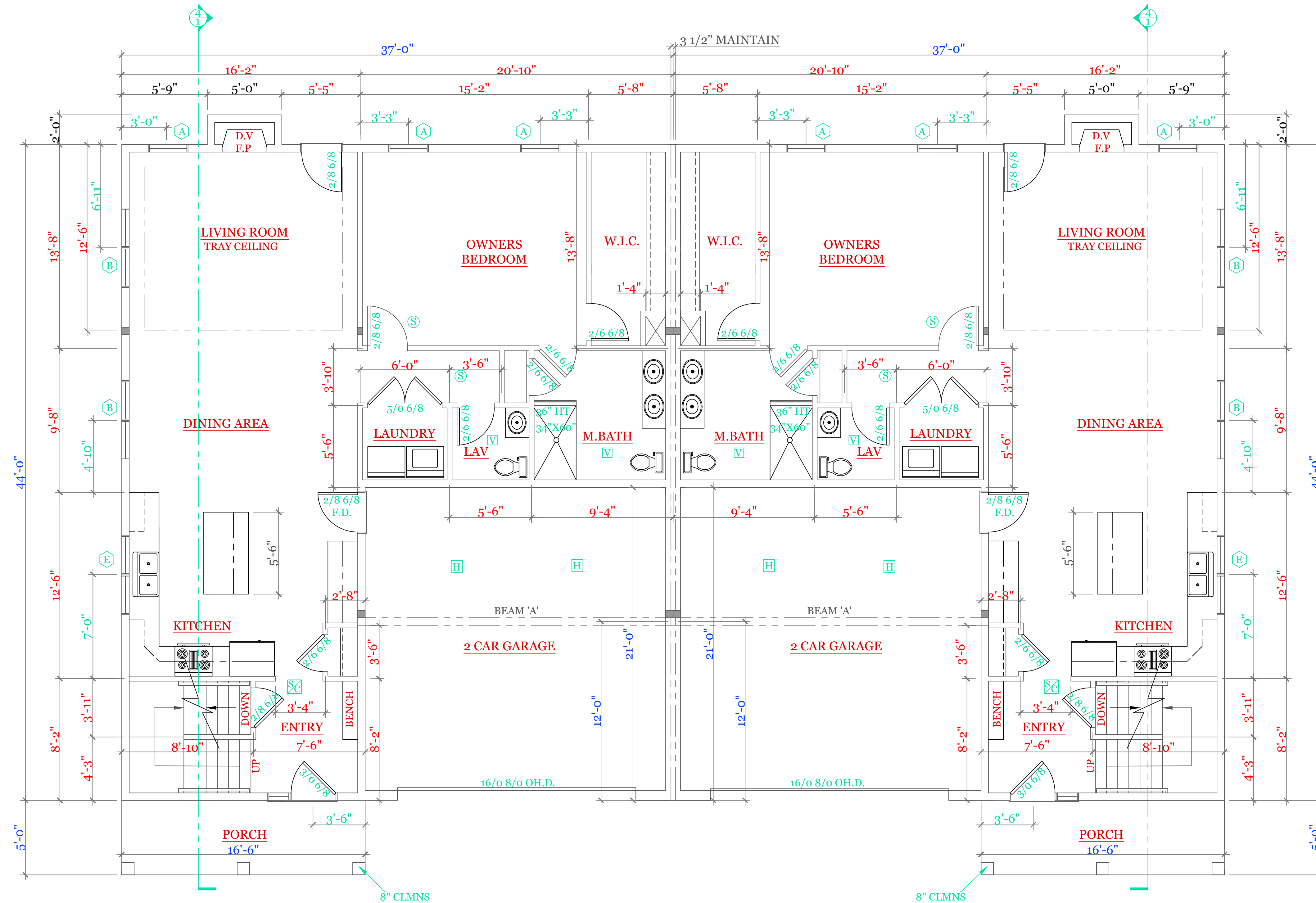
SCALE: 1/4" = 1'-0"

DRAWN BY: RCS

CHECKED BY: MJB

Sheet 3 OF 8

3



FIRST FLOOR PLAN (1194 s.f.) GARAGE (434 s.f.)
1/4"=1'-0"

WINDOW SCHEDULE: HARVEY LANSING PER UNIT			
INDEX	QUA	CATALOG	ROUGH OPENING
A	3	10000-1	2'-8 1/8" X 5'-6"
B	2	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	2'-8 1/8" X 4'-9"
C1	2	13000-1	5'-4 1/2" X 4'-9"
D*	2	14000-1 TEMPERED	2'-4 3/8" X 2'-8"
E	1	15000-1	4'-0 1/2" X 3'-5 3/8"
F	1	16000-3	7'-9" X 3'-1"
FRONT	1	17000-1	4'-3 3/8" X 6'-10 1/2"
REAR	1	18000-1	3'-2 3/8" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

- SYMBOL SCHEDULE;**
- V VENT
 - SC SMOKE AND CARBON DETECTOR
 - S SMOKE DETECTOR
 - H HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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**UNIT 'C' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL**

**FIRST FLOOR PLAN
 WINDOW SCHEDULE**

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

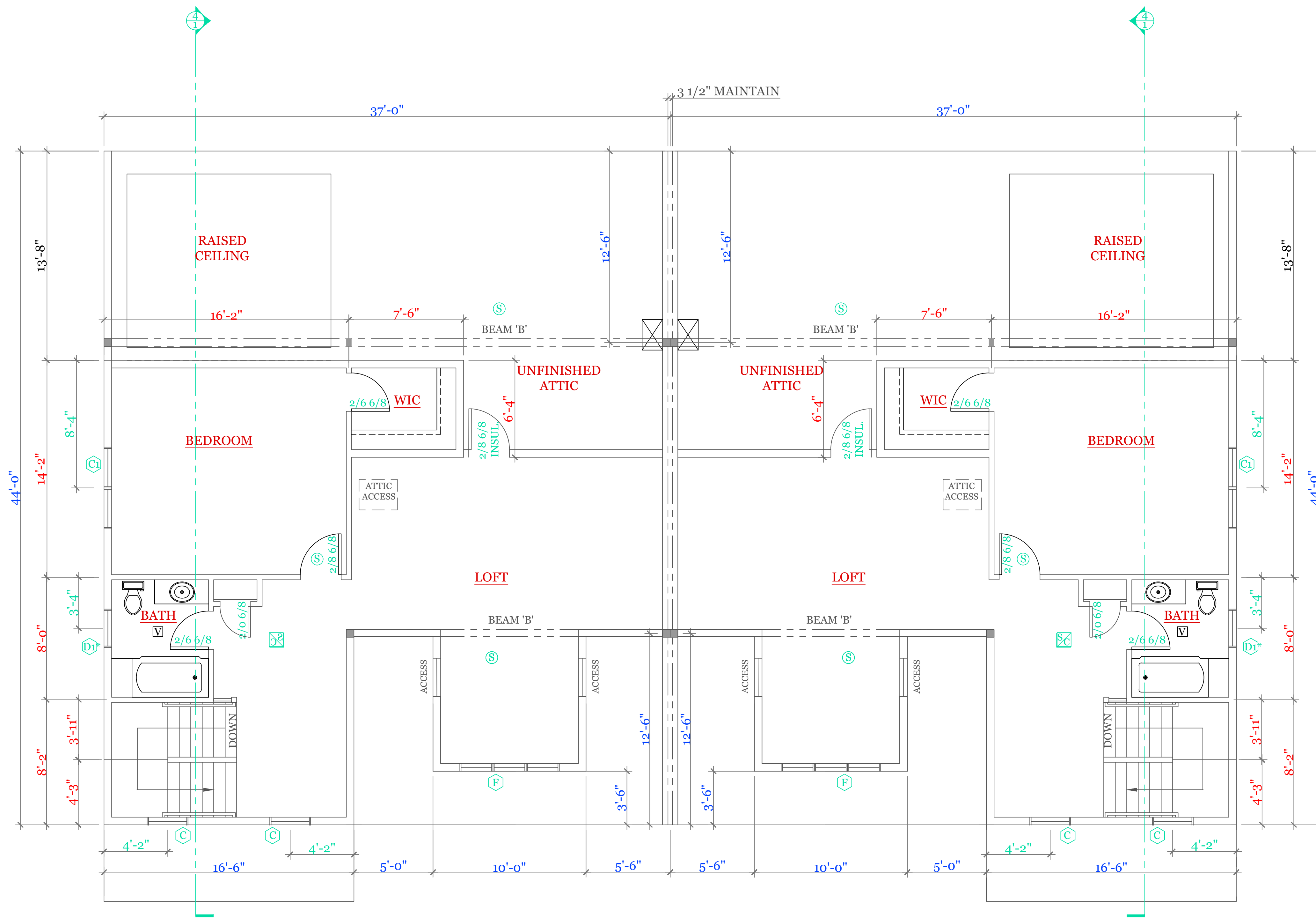
SCALE: 1/4"=1'-0"

DRAWN BY: RCS

CHECKED BY: MJB

Sheet 4 OF 8

4



SECOND FLOOR PLAN (540 s.f.)

1/4"=1'-0"

WINDOW SCHEDULE: HARVEY LANSING PER UNIT

INDEX	QUA	CATALOG	ROUGH OPENING
A	3	10000-1	2'-8 1/8" X 5'-6"
B	2	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	2'-8 1/8" X 4'-9"
C1	2	13000-1	5'-4 1/2" X 4'-9"
D*	2	14000-1 TEMPERED	2'-4 3/8" X 2'-8"
E	1	15000-1	4'-0 1/2" X 3'-5 3/8"
F	1	16000-3	7'-9" X 3'-1"
FRONT	1	17000-1	4'-3 3/8" X 6'-10 1/2"
REAR	1	18000-1	3'-2 3/8" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

- SYMBOL SCHEDULE;
- V VENT
 - SC SMOKE AND CARBON DETECTOR
 - S SMOKE DETECTOR
 - H HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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UNIT 'C' DUPLEX
 HIGGINS FARM AT
 SALISBURY HILL

SECOND FLOOR PLAN
 WINDOW SCHEDULE

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

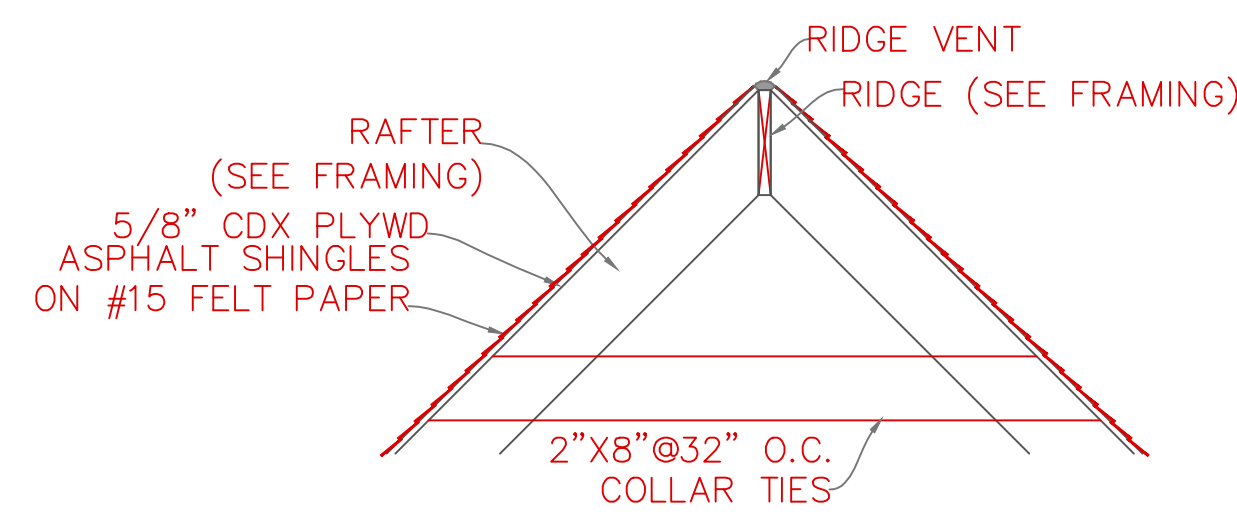
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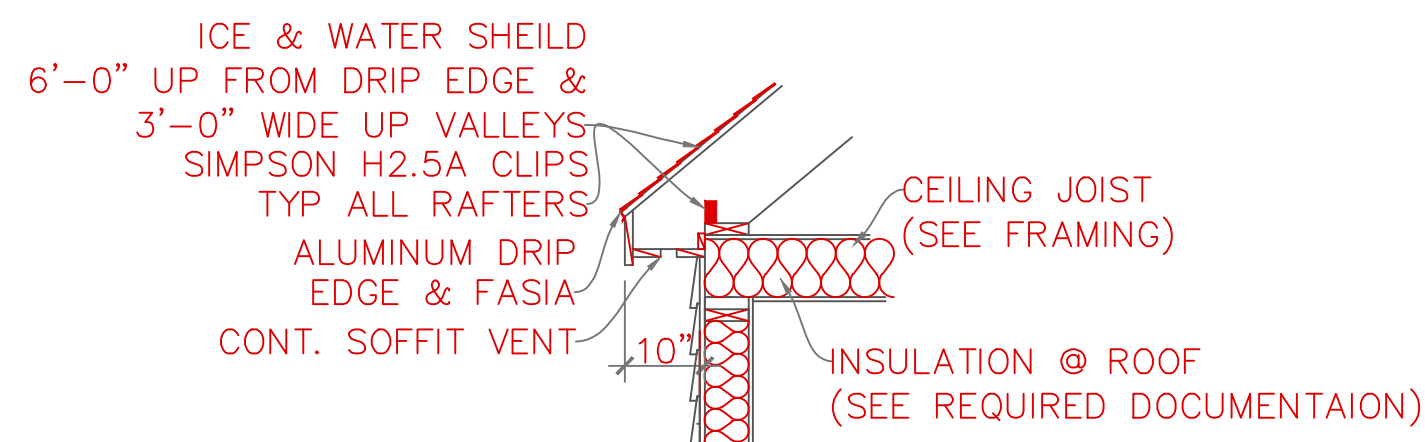
Sheet 5 OF 8

5

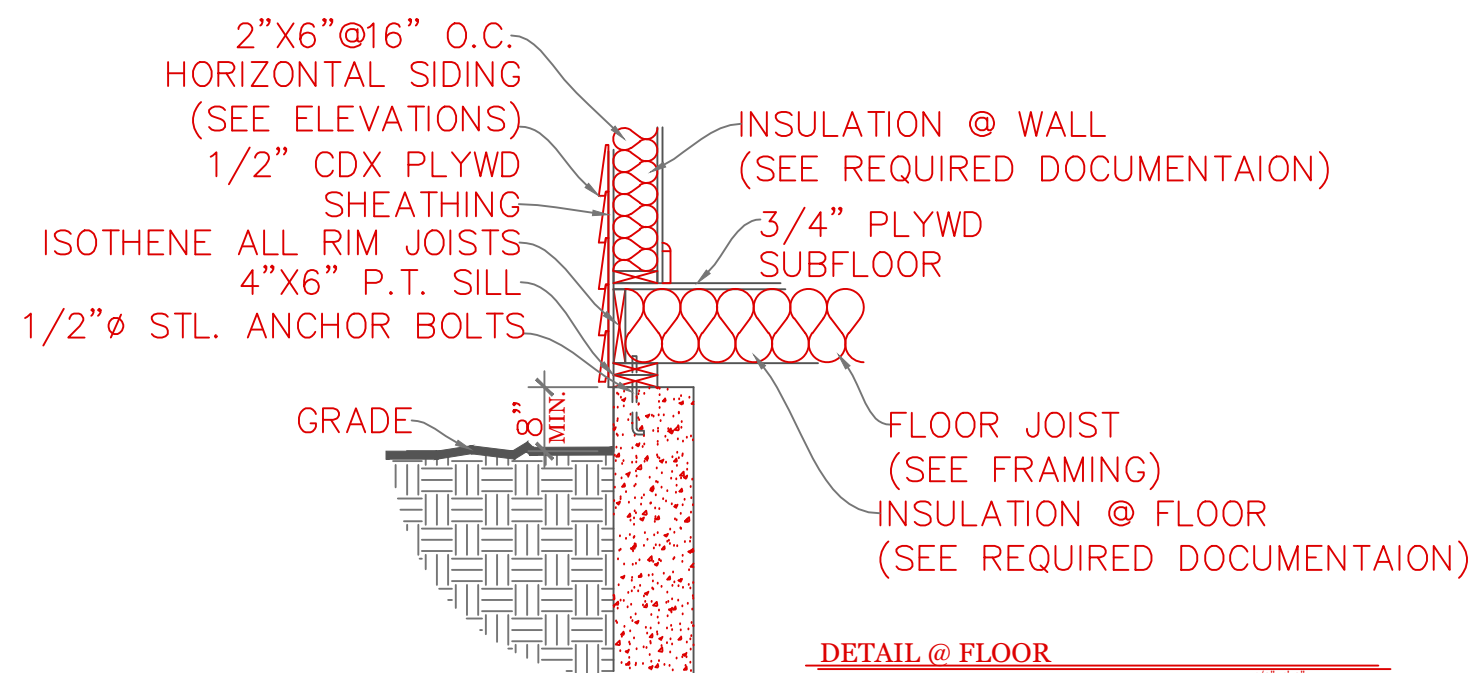
TYPICAL BUILDING SECTION



DETAIL @ RIDGE



DETAIL @ SOFFIT

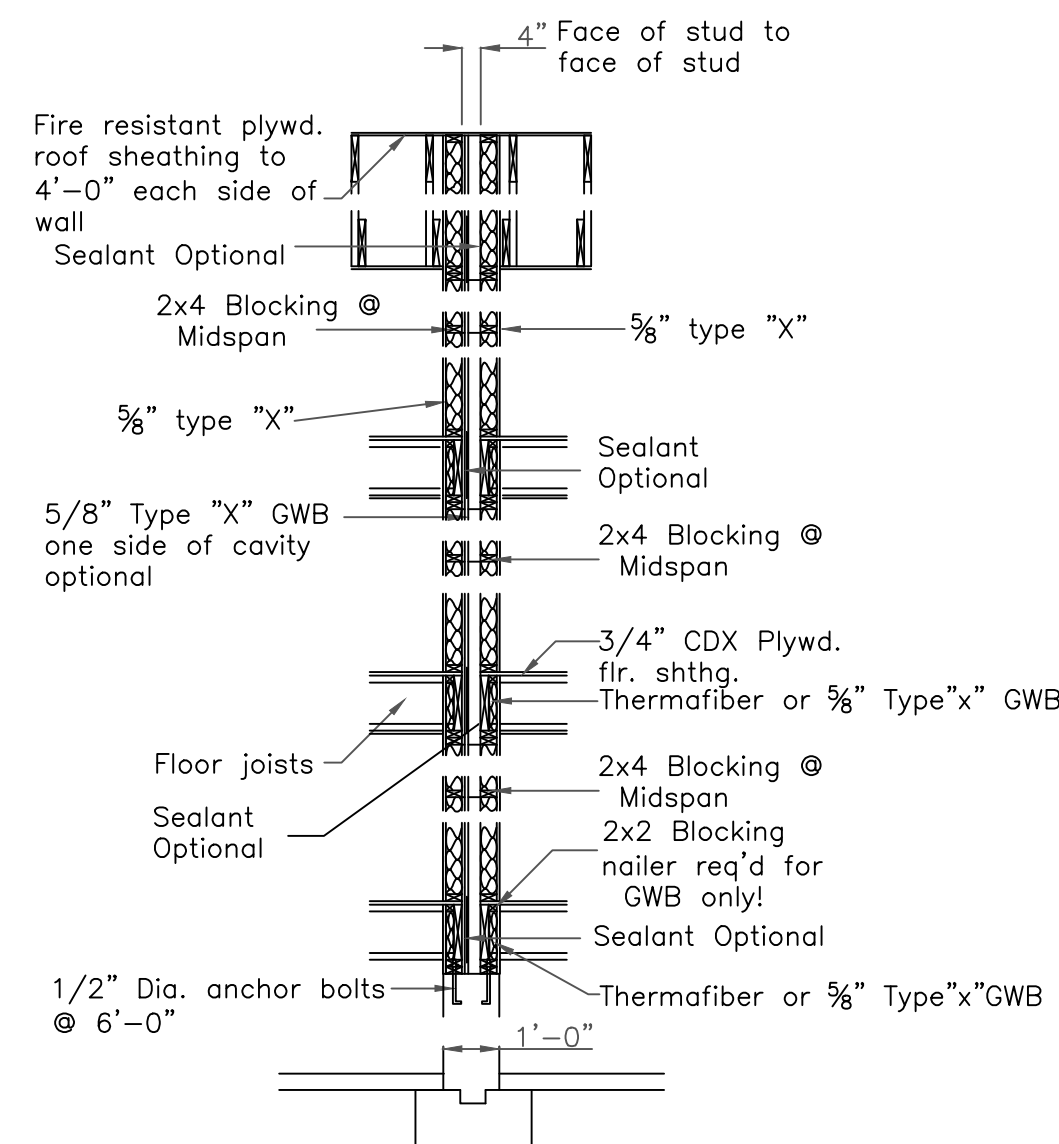


DETAIL @ FLOOR

CONSTRUCTION SCHEDULE:		(UNLESS NOTED OTHERWISE ON PLAN)
1	RIDGE BOARD:	SEE FRAMING W/ RIDGE VENT
2	ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT
3	ROOF SHEATHING:	1/2" O.S.B. w/ 15# ROOF FELT
4	ROOF RAFTER:	SEE FRAMING
5	COLLAR TIES:	1X8 @ 32" O.C.
6	DRIP EDGE:	ALUMINUM DRIP EDGE
7	SOFFIT:	CONT. SOFFIT VENT
8	CEILING JOIST:	SEE FRAMING
9	ATTIC INSULATION:	R-38
10	EXT WALL:	2"X6" @ 16" O.C.
11	EXT. SHEATHING:	1/2" O.S.B. w/ HOUSE WRAP
12	EXT. FINISH:	SEE ELEVATIONS
13	INSULATION@WALL:	R-21
14	INTERIOR WALL:	2"X4" @ 16" O.C.
15	SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED
16	JOIST:	SEE FRAMING
17	SILL:	2"X6" P.T. SILL W/ 2X6 KD TOP PLATE
18	INSULATION @ FLOOR:	R-30
19	ANCHOR:	1/2"Ø STL ANCHOR BOLTS
20	BEAM:	SEE FRAMING PLAN
21	COLUMN:	3 1/2" L.C.
22	FND. WALL:	10"X7"-10" CONC. WALL
23	SLAB:	SEE FOUNDATION NOTES
24	FOOTING:	20"X10" CONT. KEYED FTNG
25	CONC. PAD:	30"X30"X15" CONC. PAD

NOTES: -ISOETHENE ALL RIM JOISTS (OPTIONAL)
 -ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS
 -SIMPSON H2.5A CLIPS TYP ALL RAFTERS

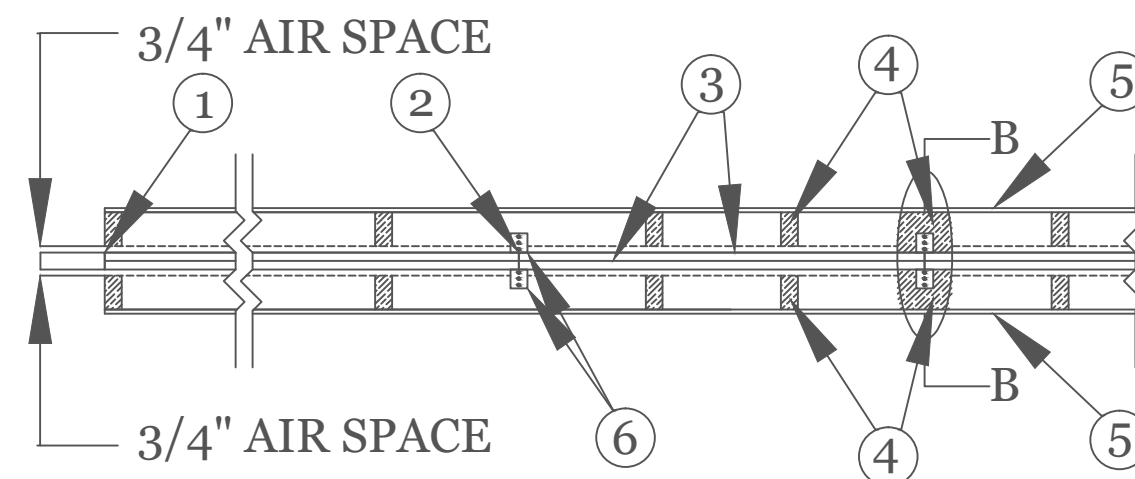
DUPLEX BUILDING ONLY



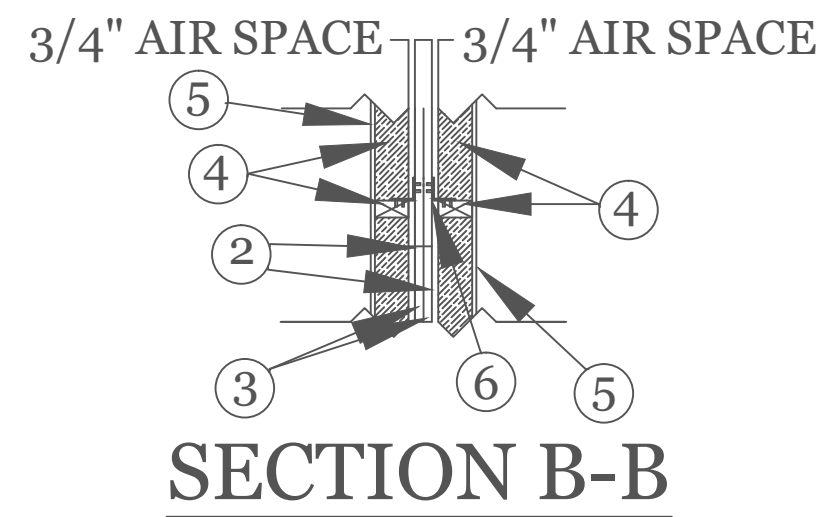
A Fire Resistance Rated Wall Section
 For more information see U.L. LISTING --- U-305 3/8"-1'-0"
 STC Rating = 56
 Bearing wall Rating = 1 HR.

FIRE RESISTANCE RATINGS - ANSI/UL 263 (BXUV)

DESIGN NO. U366
 Bearing Wall Rating - 2 HR
 Finish Rating - 120 MIN.
 STC 60-64



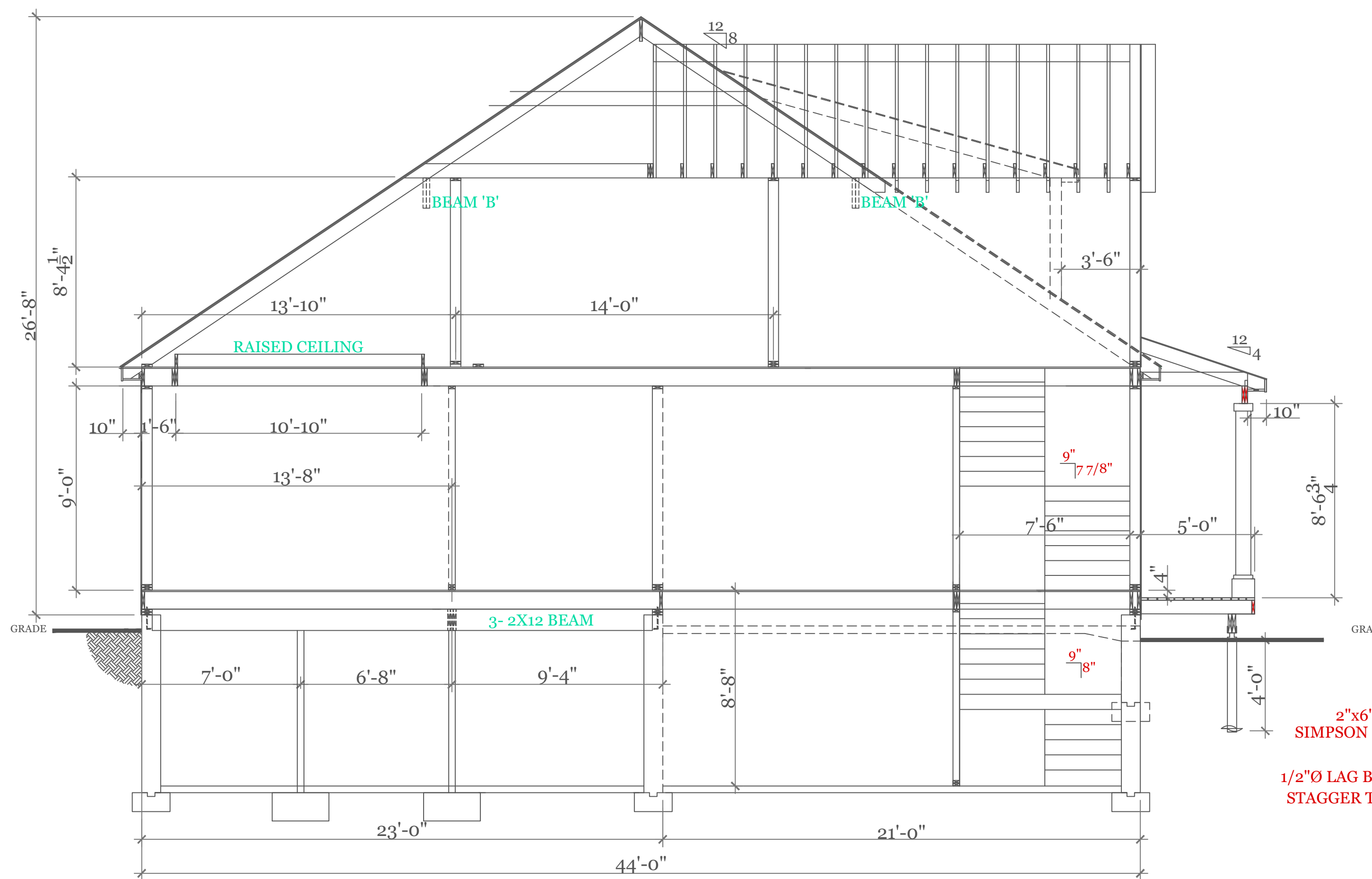
CONFIGURATION B
 EXPOSED TO FIRE FROM EITHER SIDE



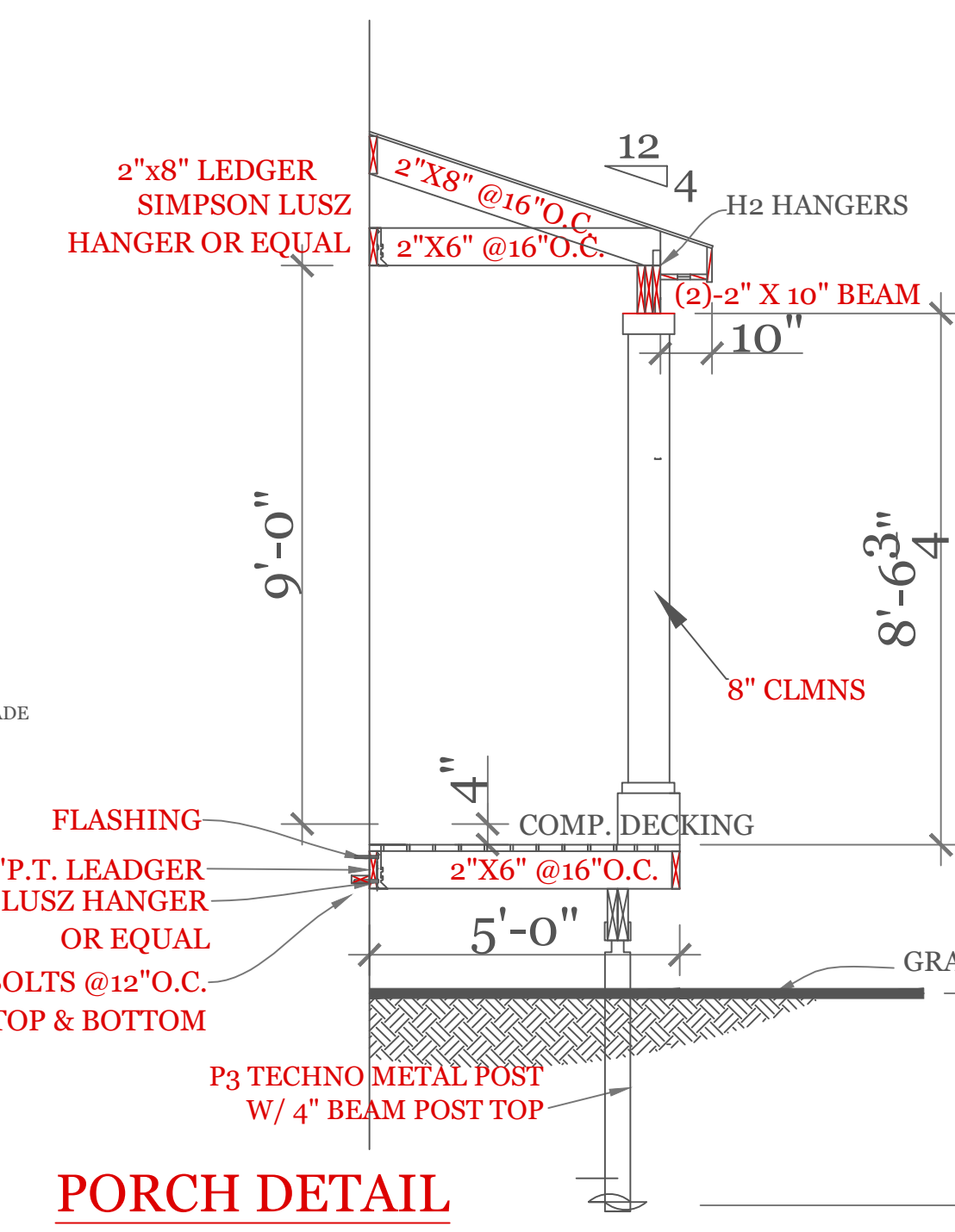
SECTION B-B

AREA SEPARATION WALL: - (Max Height - 44 ft)

- 1. Floor, Intermediate or Top Wall** - 2 in. wide channel shaped with 1 in. long legs formed from No. 25 MSG galv steel, secured with suitable fasteners spaced 24 in. O.C.
 - 2. Steel Studs** - Steel members formed from No. 25 MSG galv steel having "H" - shaped flanged spaced 24 in. O.C.; overall depth 2in. and flange width 1-3/8 in.
 - 3. Gypsum Board*** - Two layers of 1 in. thick gypsum wallboard liner panels, supplied in nom 24 in. widths. Vertical edges of panels friction fitted into "H" - shaped studs.
 - BPB AMERICA INC - ProRoc Shaftliner**
JAMES HARDIE GYPSUM INC - ProRoc Shaftliner
PROTECTED WALL: - (Bearing or Nonbearing Wall)
 - 4. Wood Studs** - Nom 2 by 4 in. max spacing 16 in. O.C. Studs cross-braced at midheight where necessary for clip attachment. Min 3/4 in. separation between wood framing and area separation wall.
 - 5. Gypsum Board** - Classified or Unclassified - Min. 1/2 in. thick, 4 ft. wide, applied either horizontally or vertically. Wallboard attached to studs with 1-1/4 in. long steel drywall nails space 8 in. O.C. Vertical joints located over studs. (Optional) Joints covered with paper tape and joint compound. Nail heads covered with joint compound.
 - 6. Attachment Clips** - Aluminum angle; 0.063 in. thick, min 2 in. wide with min 2 in. and 2-1/4 in. legs. Clips secured with Type S screws 3/8 in. long to "H" studs and with Type W screws 1-1/4 in. long to wood framing through holes provided in clip. Clips spaced a max of 10ft. O.C. vertically between wood framing and "H" studs for separation walls up to 23 ft. high. For separation walls up to 44 ft. high, clips spaced as described above for the upper 24 ft. and the remaining wall area below requires clips spaced a max of 5 ft. O.C. vertically between wood framing and "H" studs.
- * Bearing the UL Classification Mark



CROSS SECTION
 1/4"=1'-0"



PORCH DETAIL

NOTES:

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UNIT 'C' DUPLEX
 HIGGINS FAM AT
 SALISBURY HILL

BUILDING SECTION
 SEPARATION WALL
 CONSTR. SCHEDULE

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

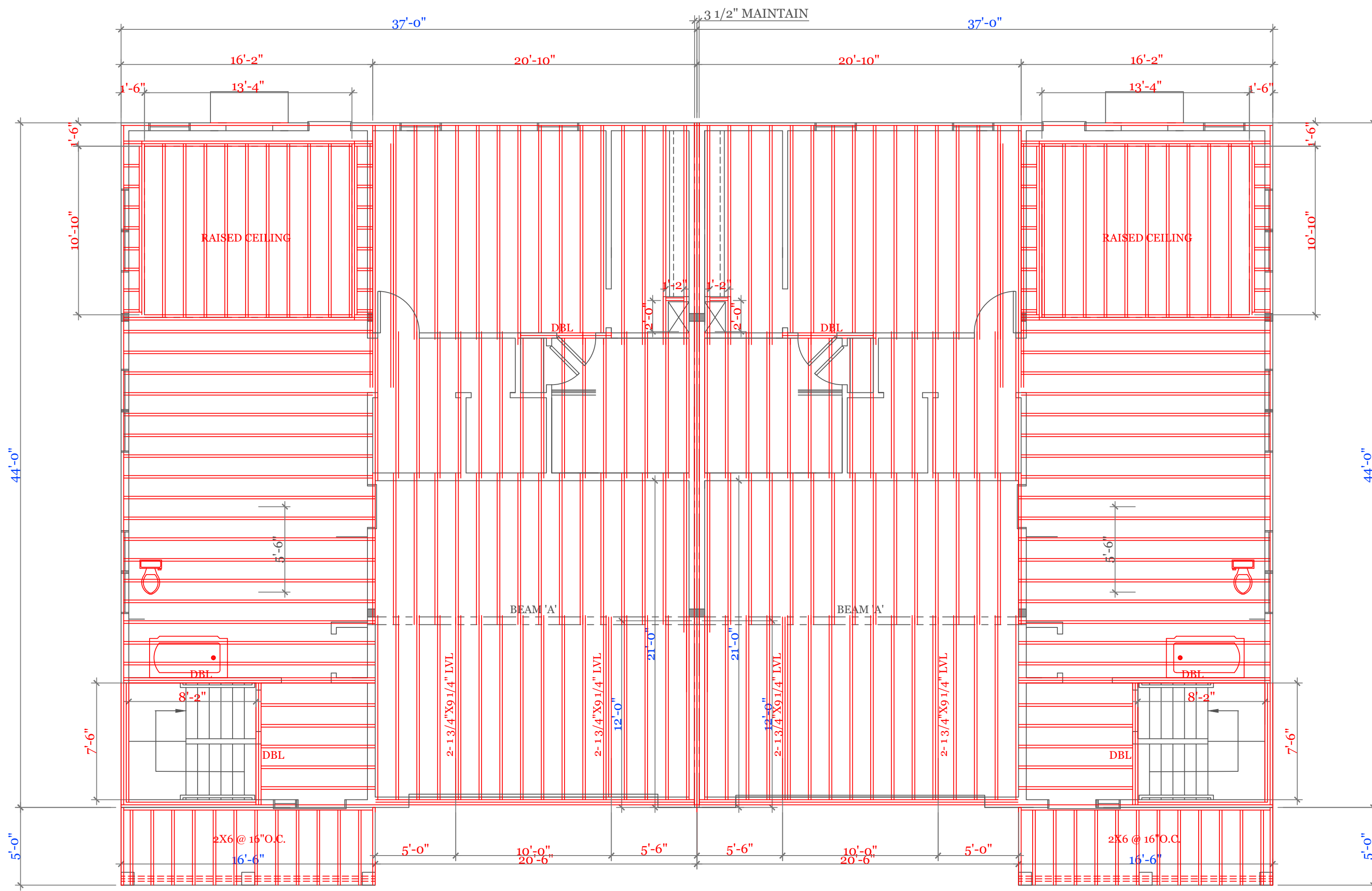
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DRAWN BY: RCS

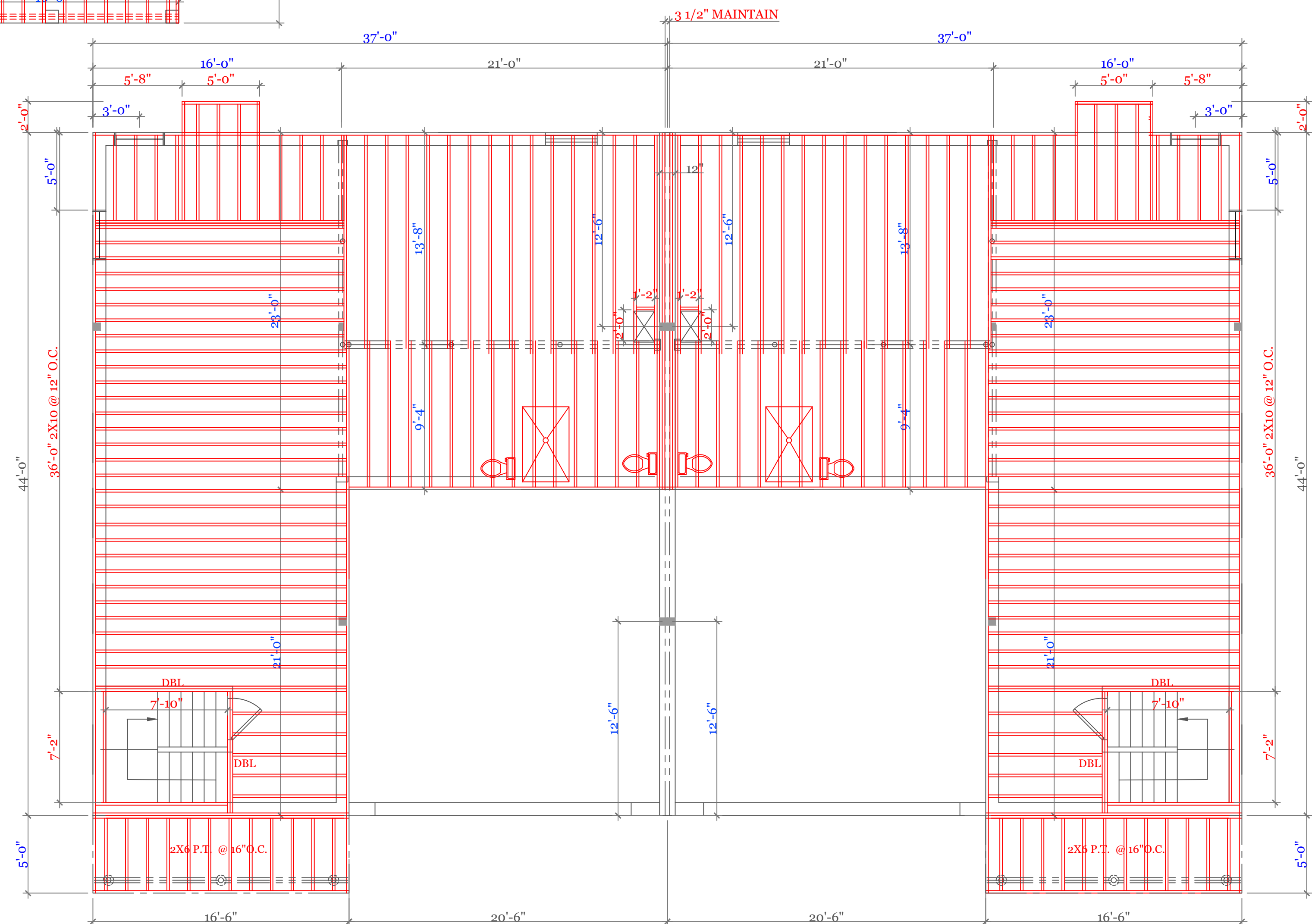
CHECKED BY: MJB

Sheet 6 OF 8

6



SECOND FLOOR FRAMING (2"X10" @ 16" O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT. 3/16" = 1'-0"



FIRST FLOOR FRAMING (2"X10" @ 16" O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT. 3/16" = 1'-0"

BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	5 1/4" X 14" LVL	21'-6"	240	382	334	482
B	5 1/4" X 18" LVL ROOF	21'-6"	---	840	---	1050

NOTES:

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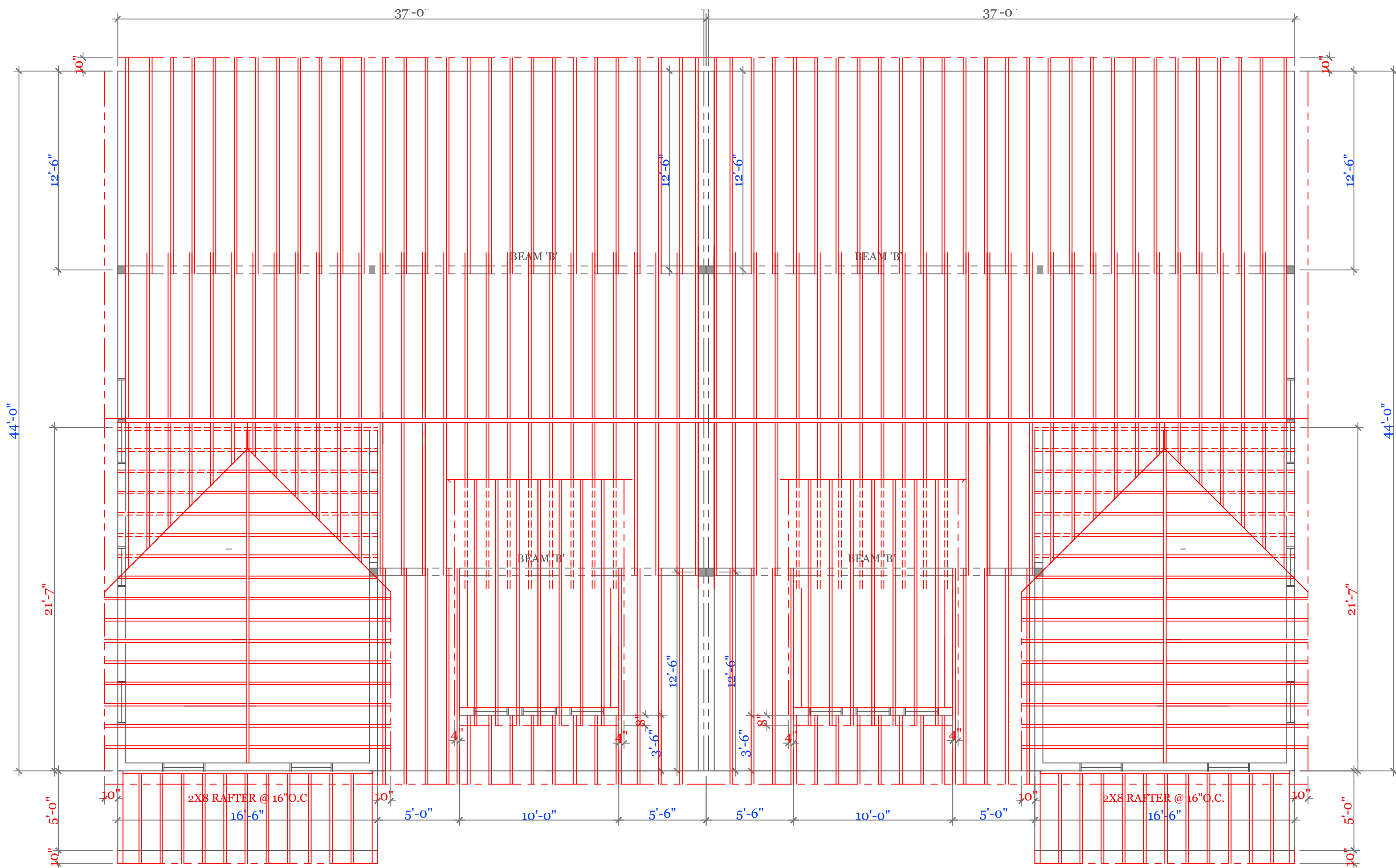
UNIT 'C' DUPLEX
 HIGGINS FARM AT
 SALISBURY GREEN

FIRST & SECOND FLOOR
 FRAMING PLANS
 BEAM SCHEDULE

UNIT 'C' DPLX

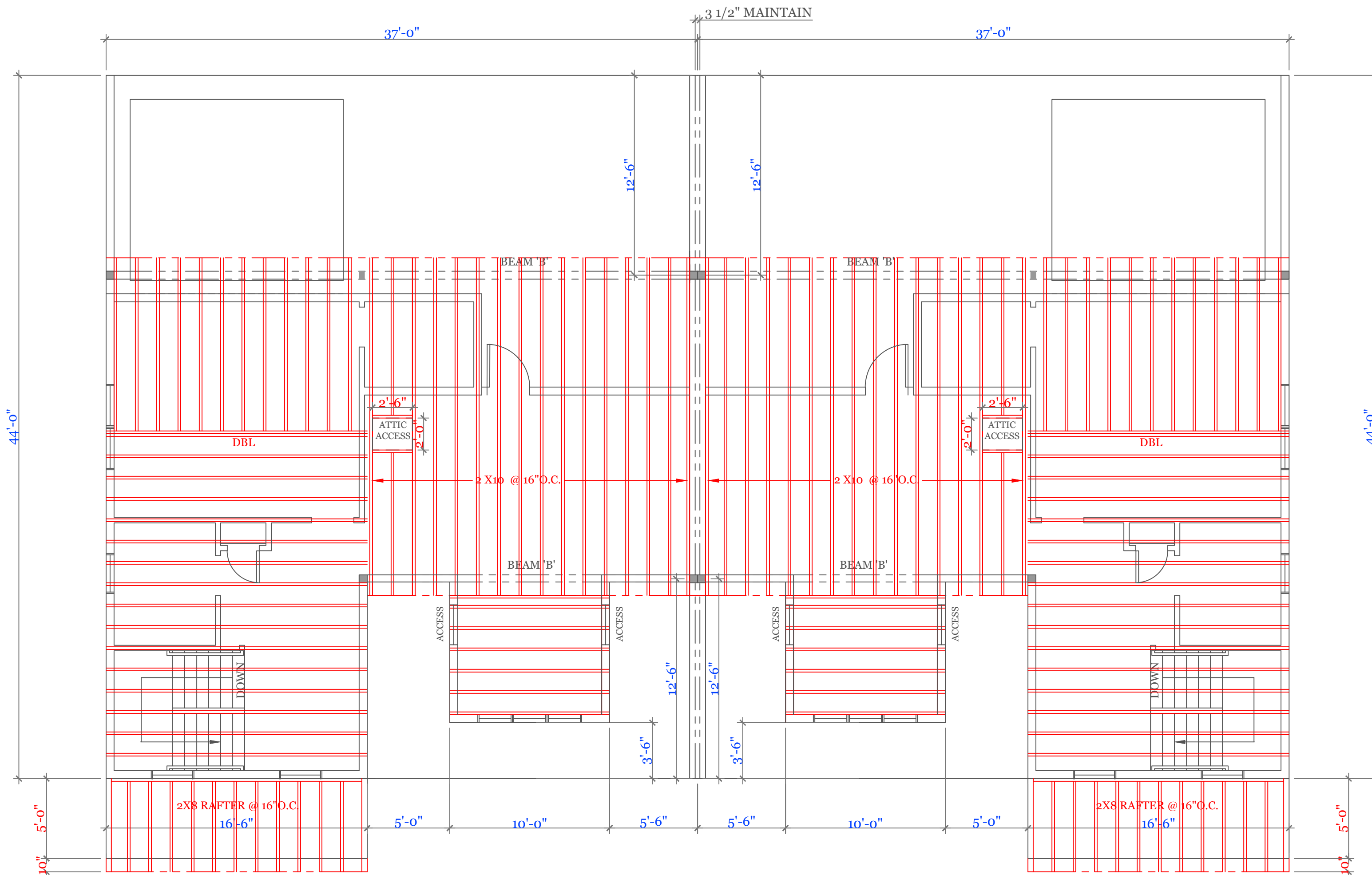
DATE: 9/28/2022 R5/5/23
 SCALE: 3/16" = 1'-0"
 DRAWN BY: RCS
 CHECKED BY: MJB

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ROOF FRAMING (2"X8"@16"O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT. 3/16" = 1'-0"

BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	5 1/4" X 14" LVL	21'-6"	240	382	334	482
B	5 1/4" X 18" LVL ROOF	21'-6"	---	840	---	1050

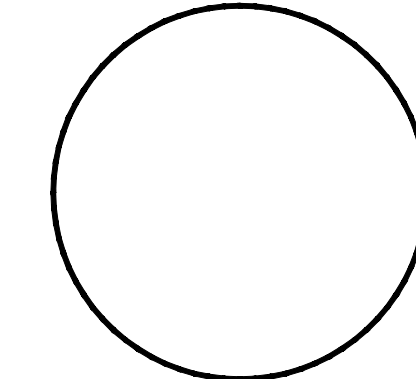


CEILING FRAMING (2"X8"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"

NOTES:

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UNIT 'C' DUPLEX
 HIGGINS FARM AT
 SALISBURY GREEN

CEILING & ROOF
 FRAMING PLANS
 BEAM SCHEDULE

UNIT 'C' DPLX

DATE: 9/28/2022 R5/5/23

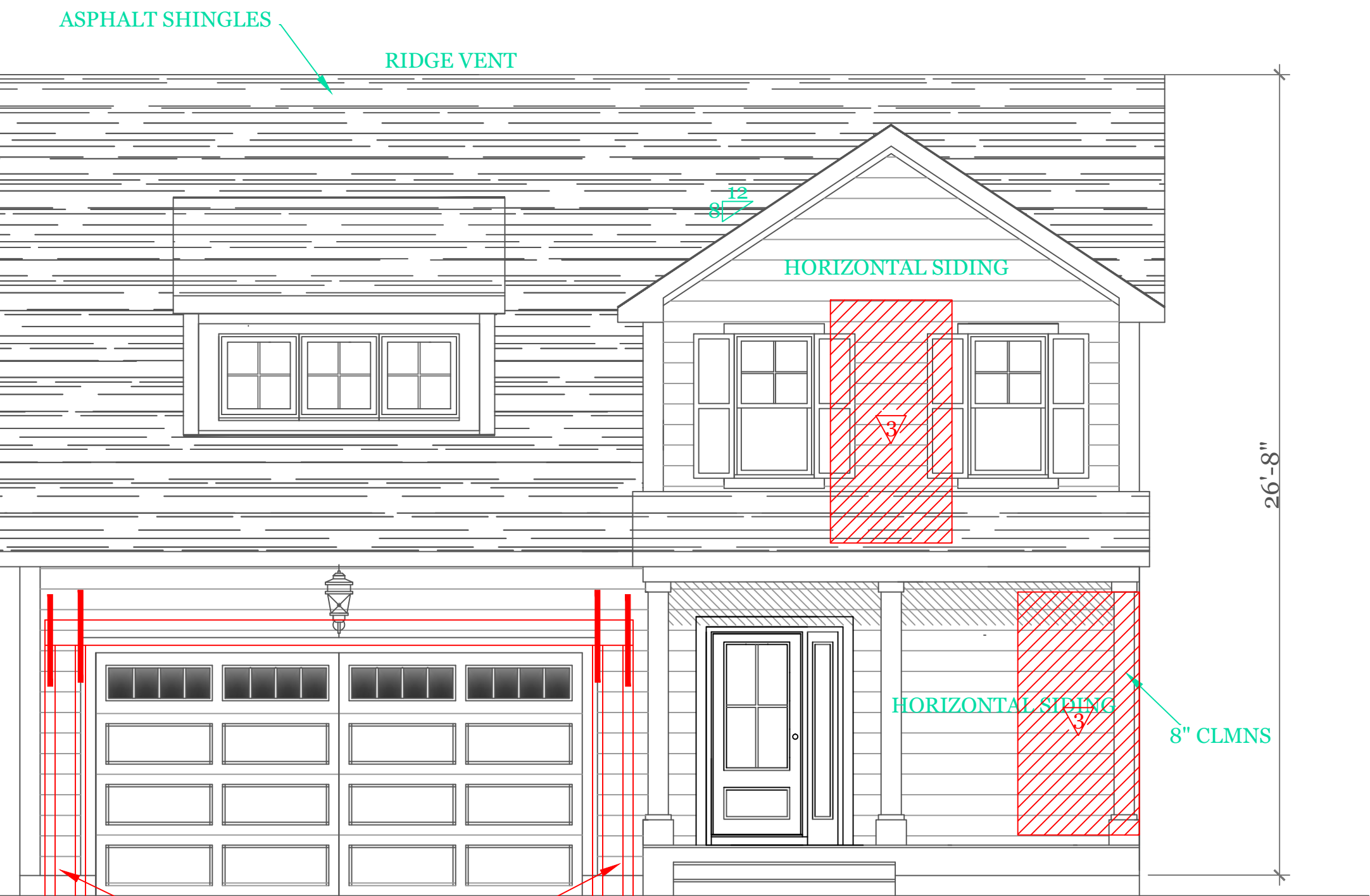
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DRAWN BY: RCS

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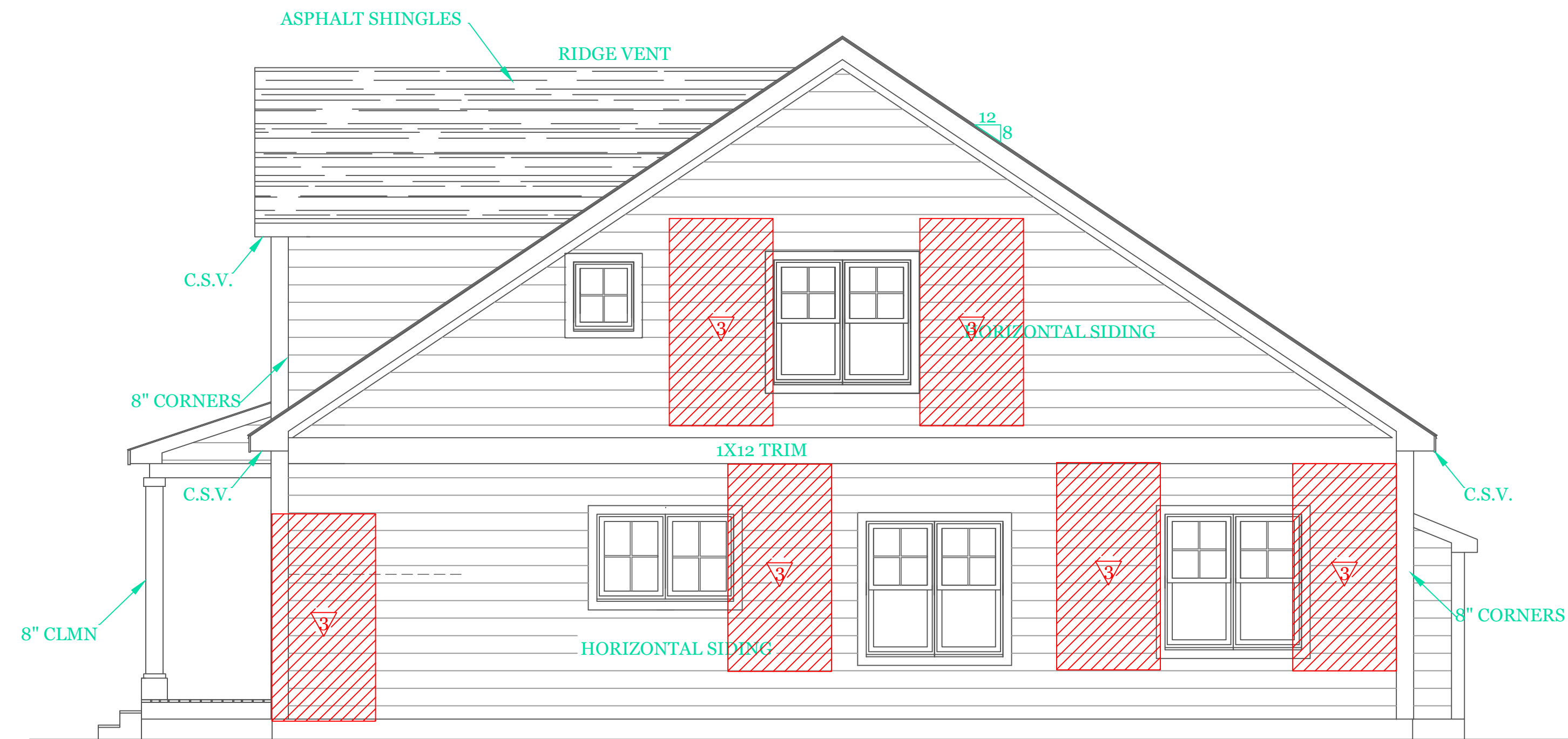
Sheet 8 OF 8

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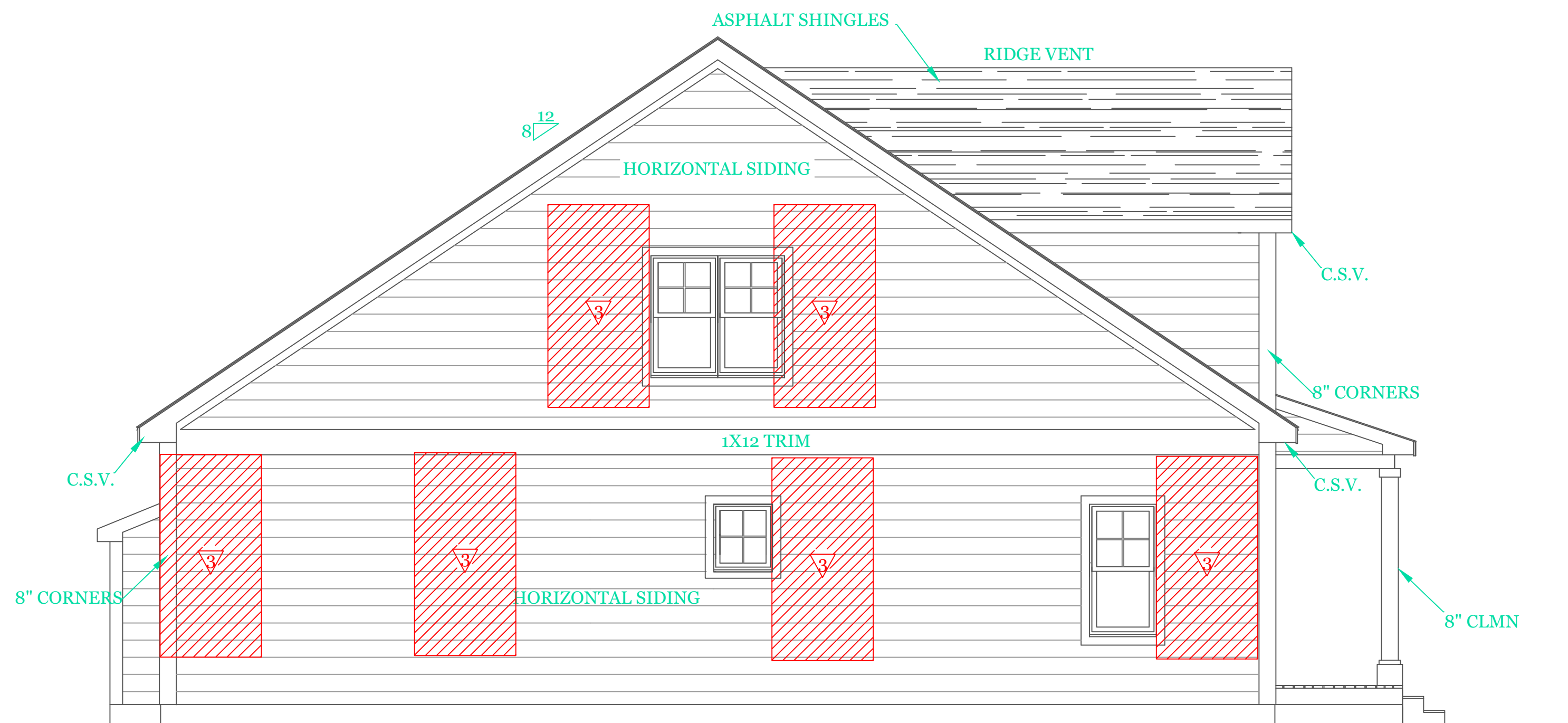


FRONT ELEVATION (1734 s.f.)

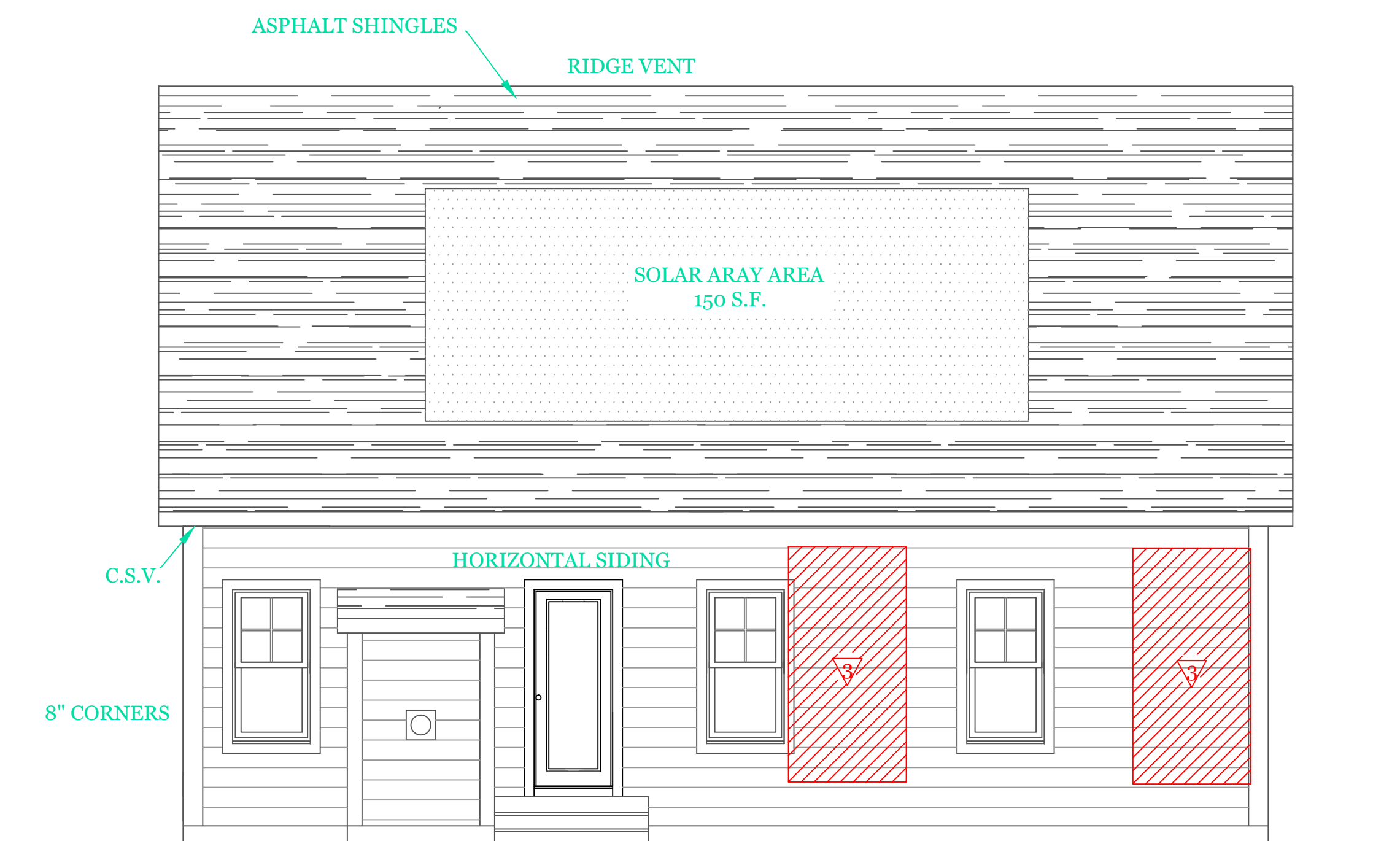
WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16\"/>



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

NOTES:

- GENERAL NOTES:
1. These plans are drawn as required for construction by an experienced licensed general contractor.
 2. The General contractor shall fully comply with the 9th Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
 3. Written dimensions shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings. Any defects in the construction documents shall be brought to the attention of this office before proceeding with work. Reasonable time not allowed this office to correct defects shall place the burden of cost and liability from such defects upon the contractor.

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UNIT 'C' 1734 S.F.
 HIGGINS FARM AT
 SALISBURY HILL

ELEVATIONS

UNIT 'C' GL

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

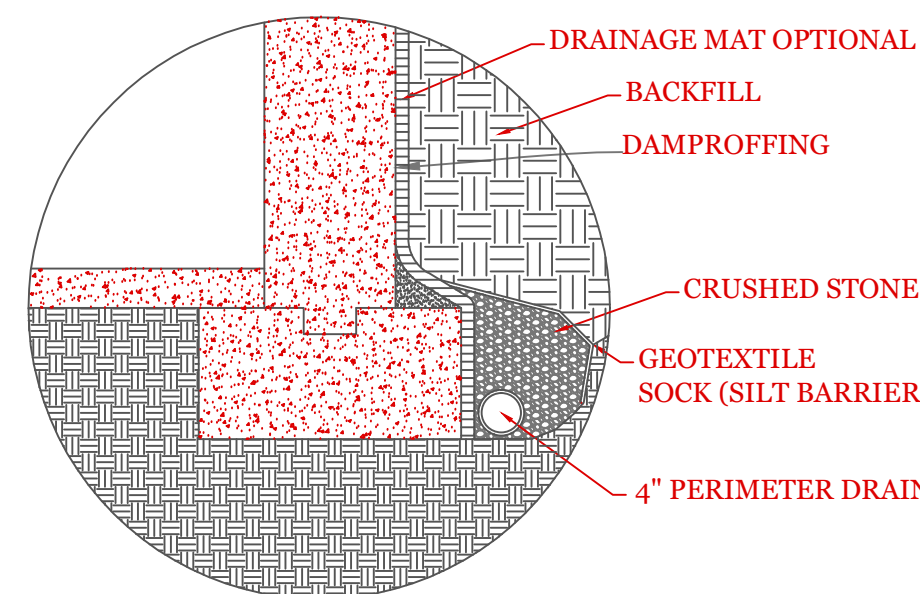
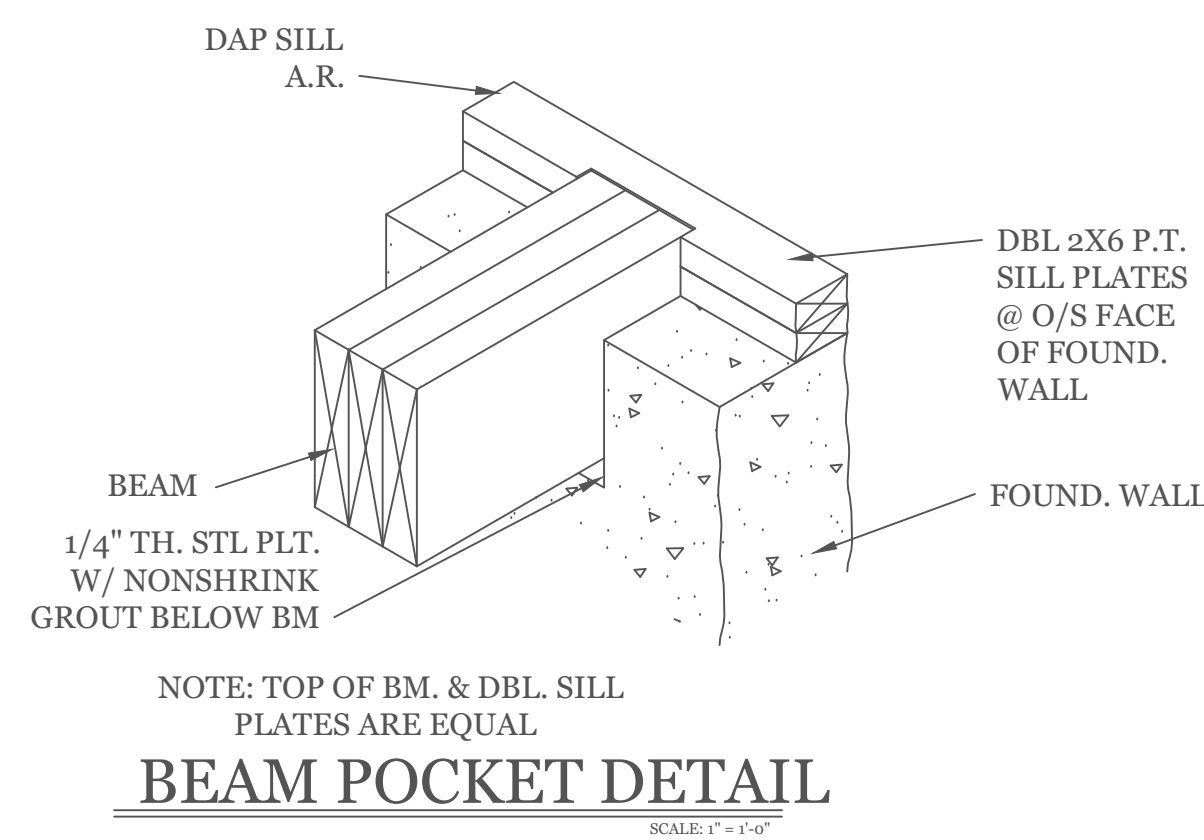
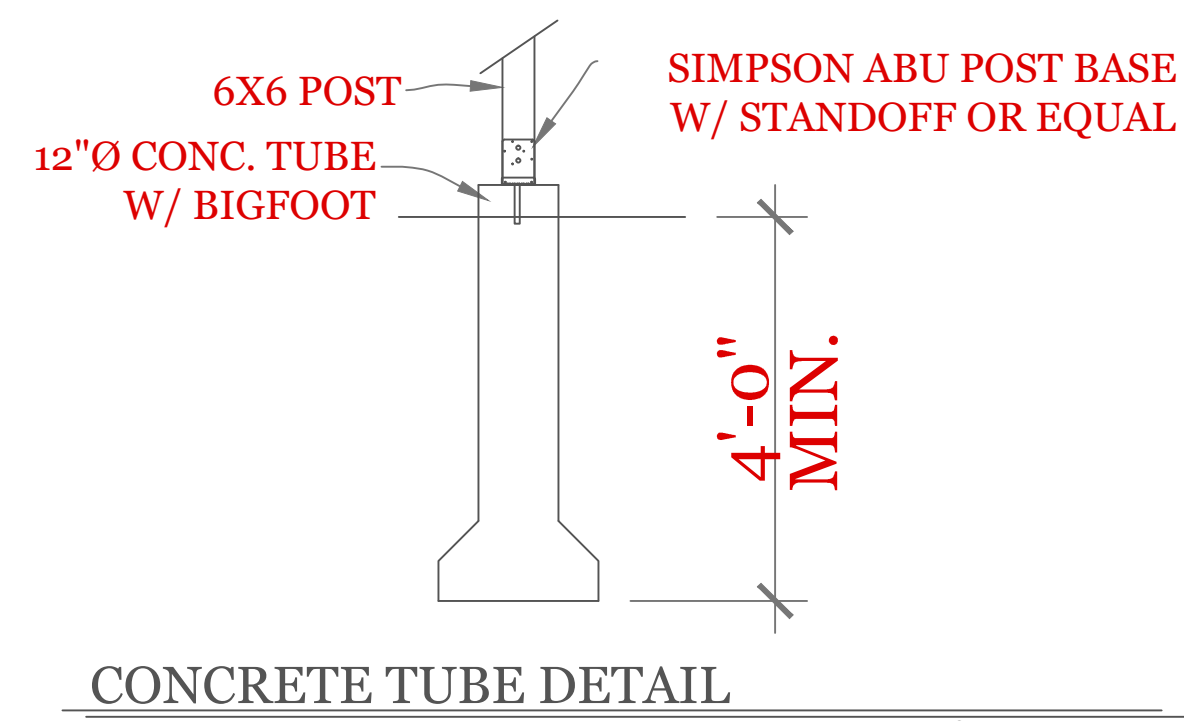
DRAWN BY: RCS

CHECKED BY: MJB

Sheet 1 OF 5

1

TYPICAL FOUNDATION DETAILS

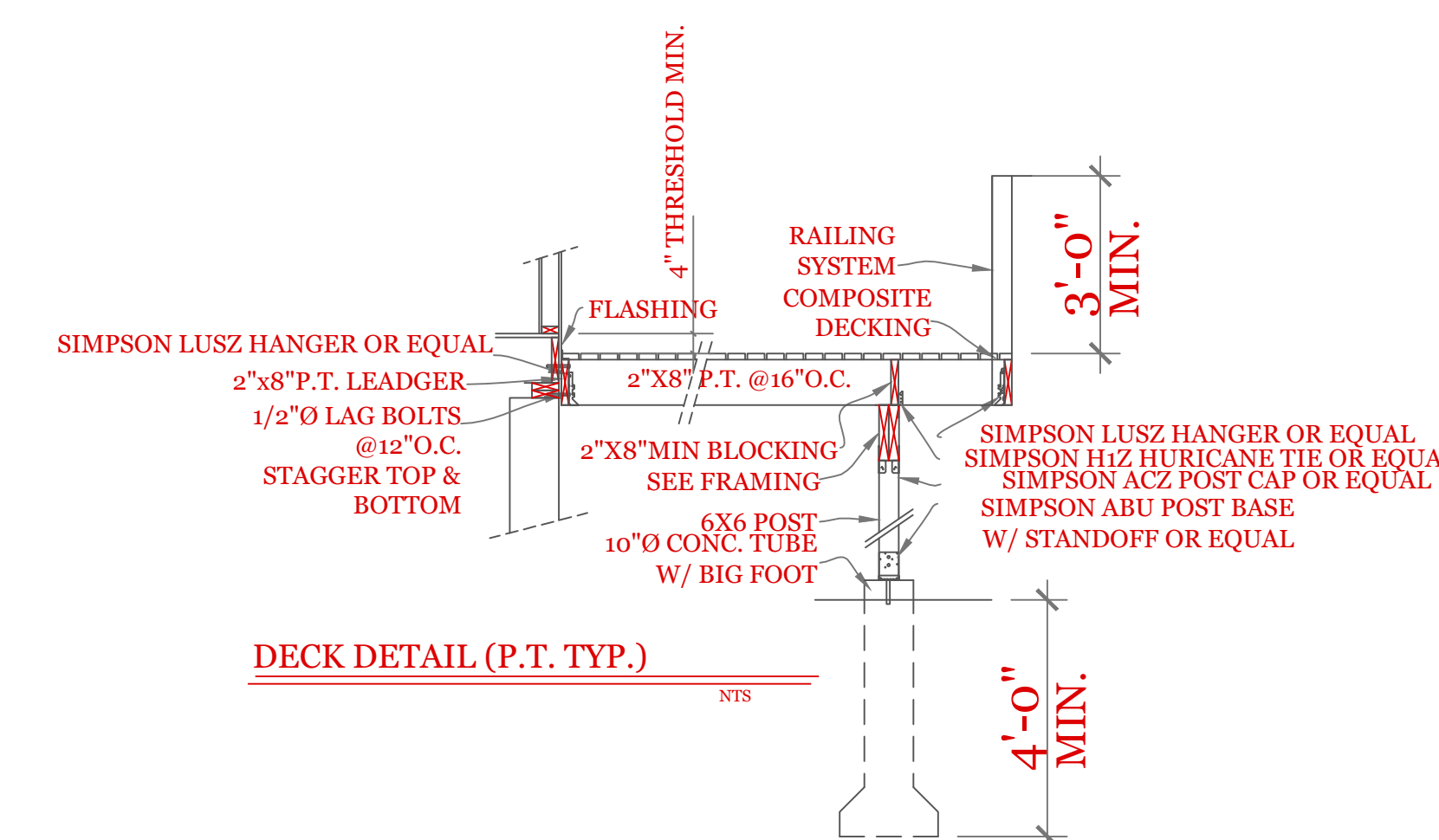
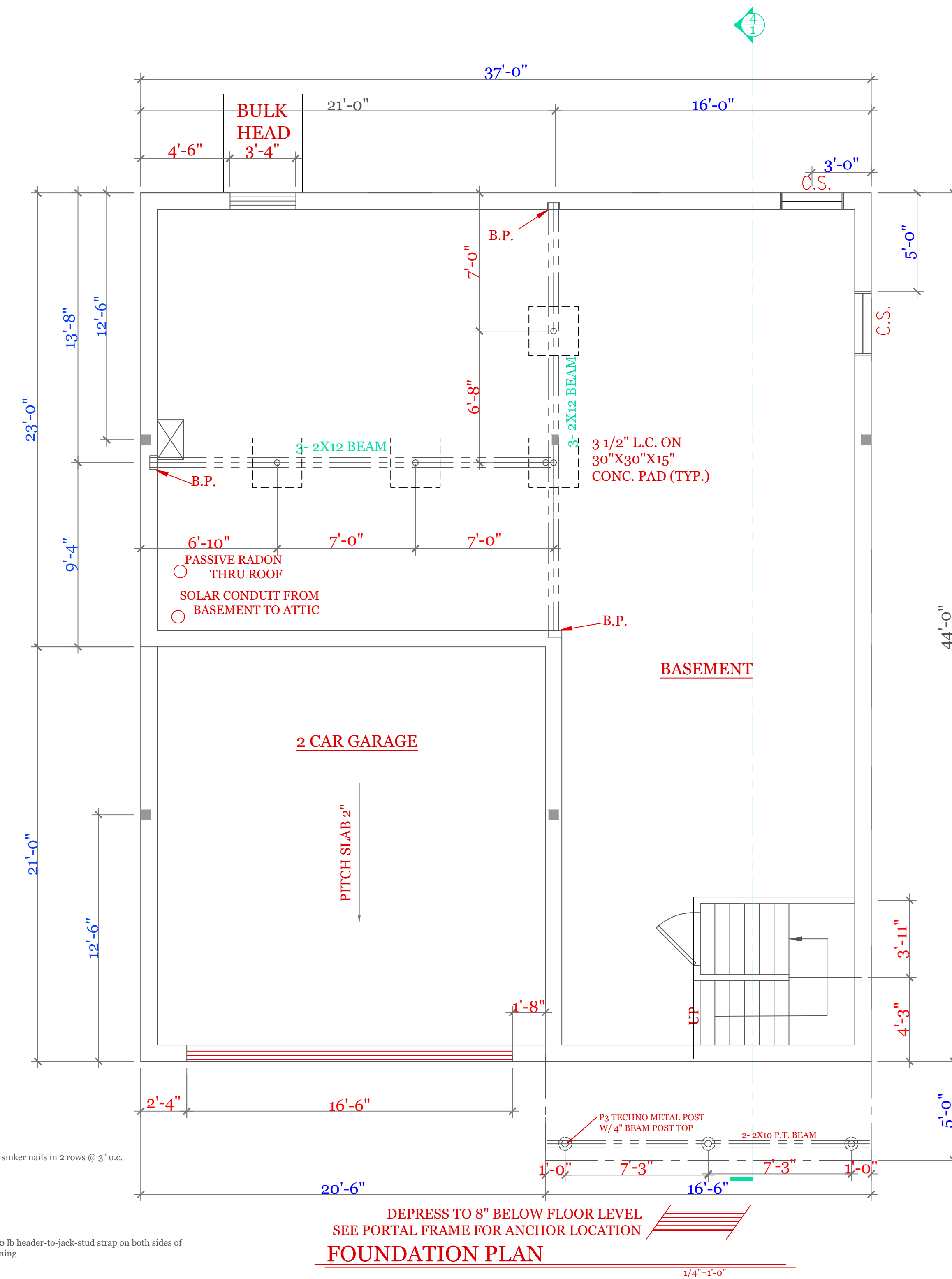
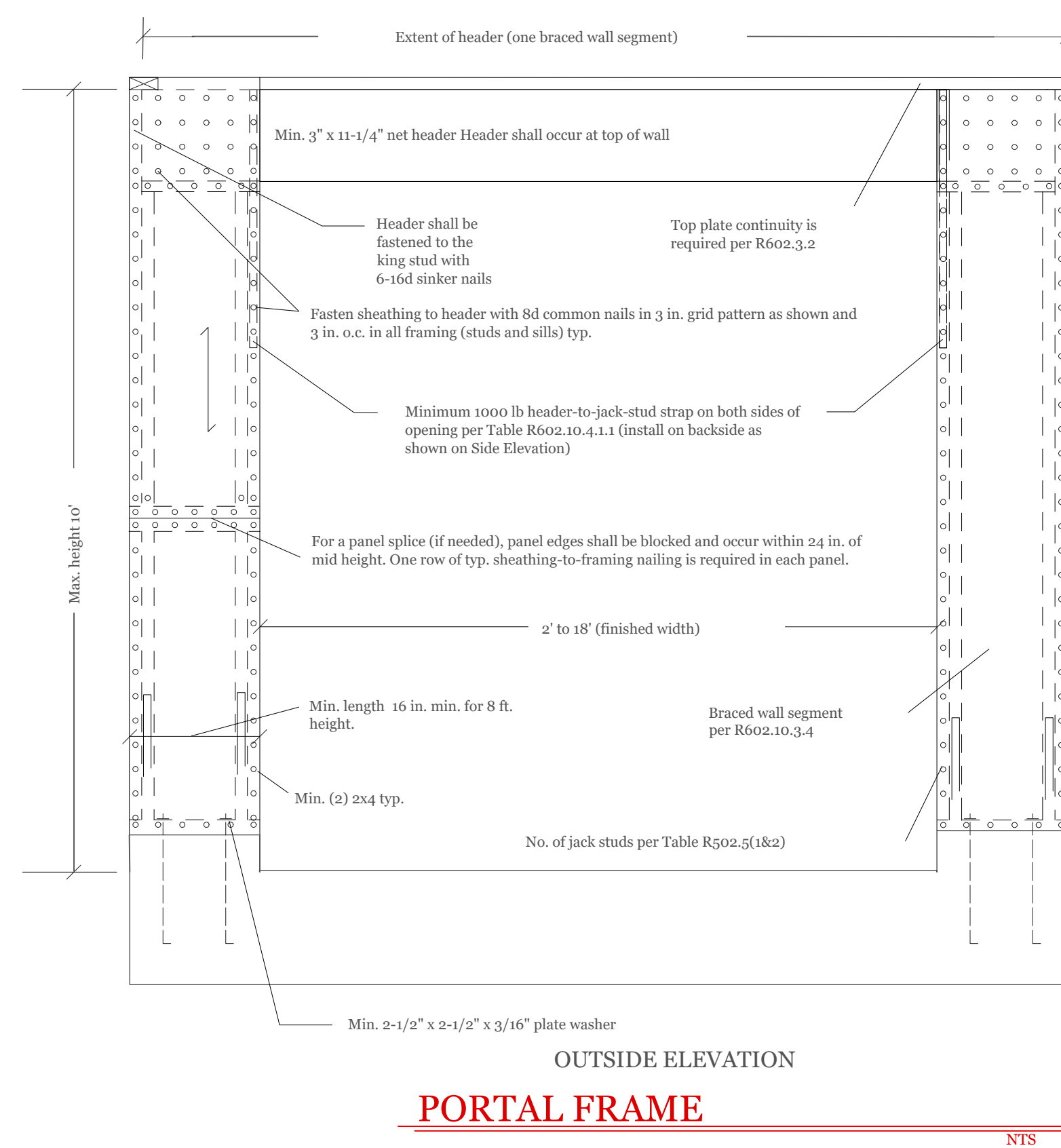


GARAGE FLOOR @ O.H.D.

3/8" = 1'-0"

SYMBOL SCHEDULE;

- V VENT
- SC SMOKE AND CARBON DETECTOR
- S SMOKE DETECTOR
- H HEAT DETECTOR
- BEARING POINT W/ SQUASH BLOCK



NOTES:

- FOUNDATION NOTES:
- HOUSE FOUNDATION- 10"X7'-10" POUR ON 20"X10" CONTINUOUS KEYED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL.
 - GARAGE FOUNDATION- 8"X4'-0" MINIMUM POUR ON 16"X8" CONTINUOUS KEYED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
 - BASEMENT FLOOR-MINIMUM 4" CONCRETE (3,500 PSI)
 - GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500 PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TWARD OVERHEAD GARAGE DOOR
 - ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
 - ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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UNIT 'C' 1734 S.F.
HIGGINS FARM AT
SALISBURY HILL

FOUNDATION PLAN
PORTAL FRAME
DETAILS

UNIT 'C' GL

DATE: 9/28/2022 R5/5/23

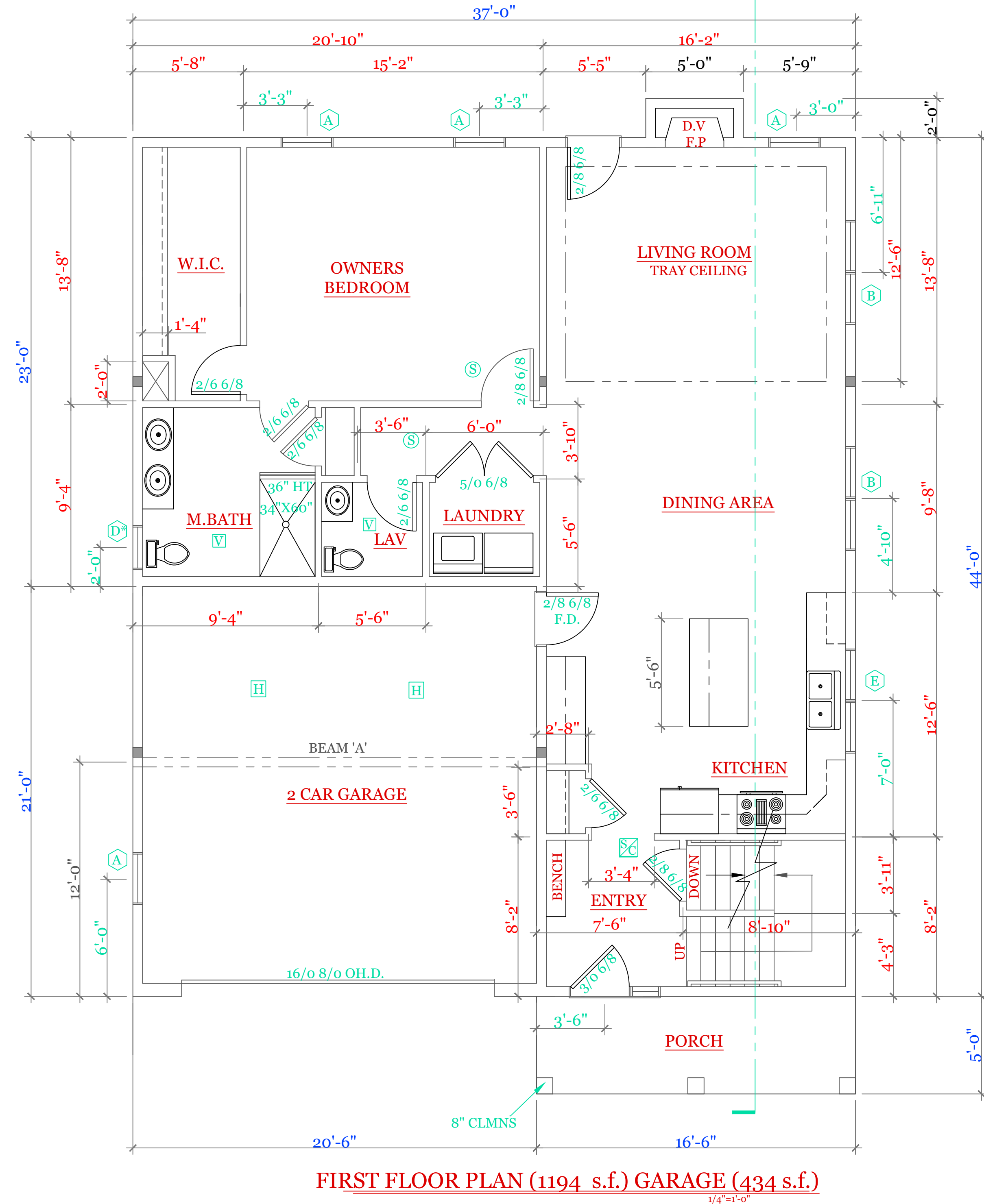
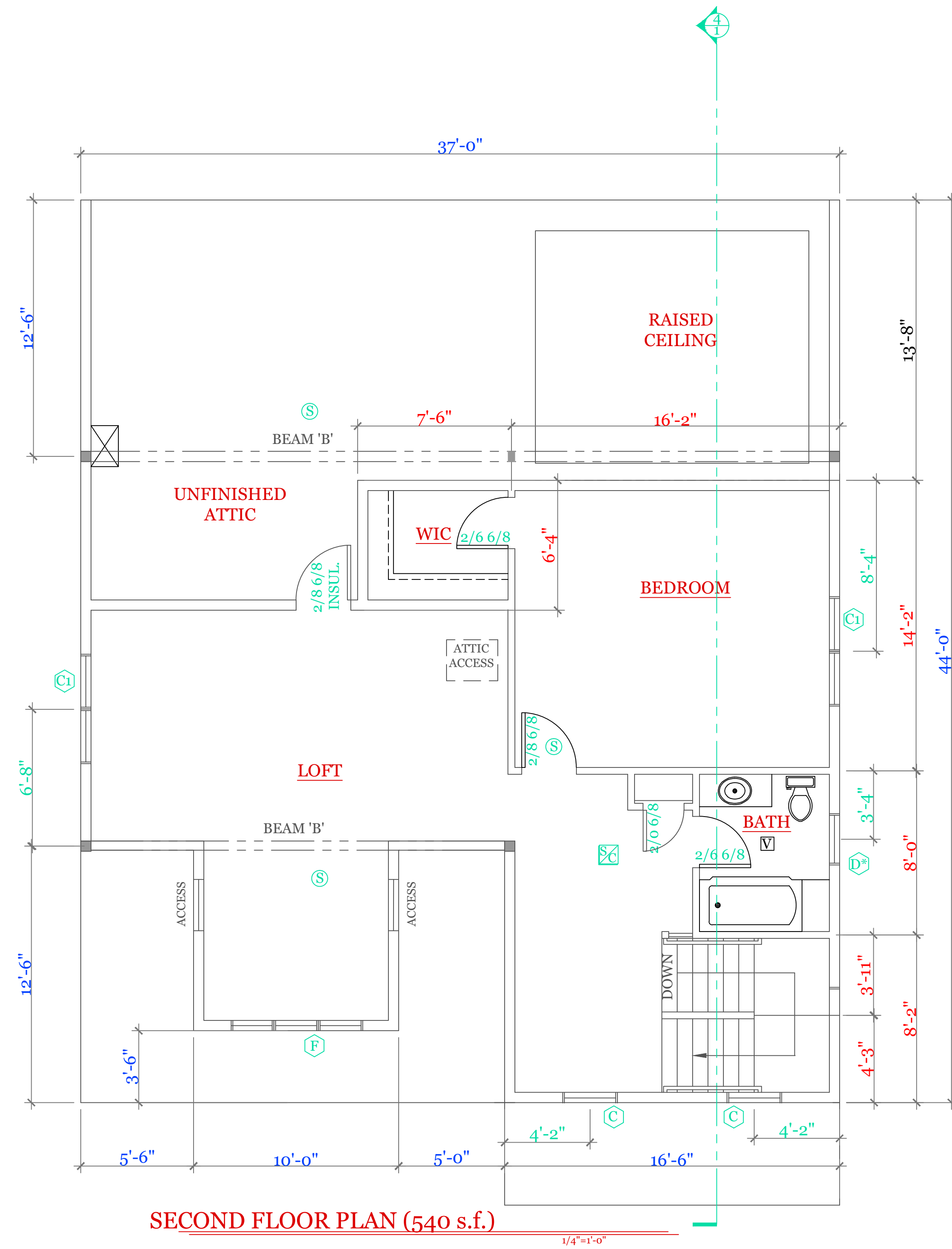
SCALE: 1/4" = 1'-0"

DRAWN BY: RCS

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Sheet 2 OF 5

2



WINDOW SCHEDULE: HARVEY LANSING

INDEX	QUA	CATALOG	ROUGH OPENING
A	4	10000-1	2'-8 1/8" X 5'-6"
B	2	11000-1	5'-4 1/2" X 5'-6"
C	2	12000-1	2'-8 1/8" X 4'-9"
C1	2	13000-1	5'-4 1/2" X 4'-9"
D*	2	14000-1 TEMPERED	2'-4 3/8" X 2'-8"
E	1	15000-1	4'-0 1/2" X 3'-5 3/8"
F	1	16000-3	7'-9" X 3'-1"
FRONT	1	17000-1	4'-3 3/8" X 6'-10 1/2"
REAR	1	18000-1	3'-2 3/8" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

- NOTES:**
- SYMBOL SCHEDULE;**
- V VENT
 - SC SMOKE AND CARBON DETECTOR
 - S SMOKE DETECTOR
 - H HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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UNIT 'C' 1734 S.F.
HIGGINS FARM AT
SALISBURY HILL

FIRST & SECOND
FLOOR PLANS
WINDOW SCHEDULE

UNIT 'C' GL

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

DRAWN BY: RCS

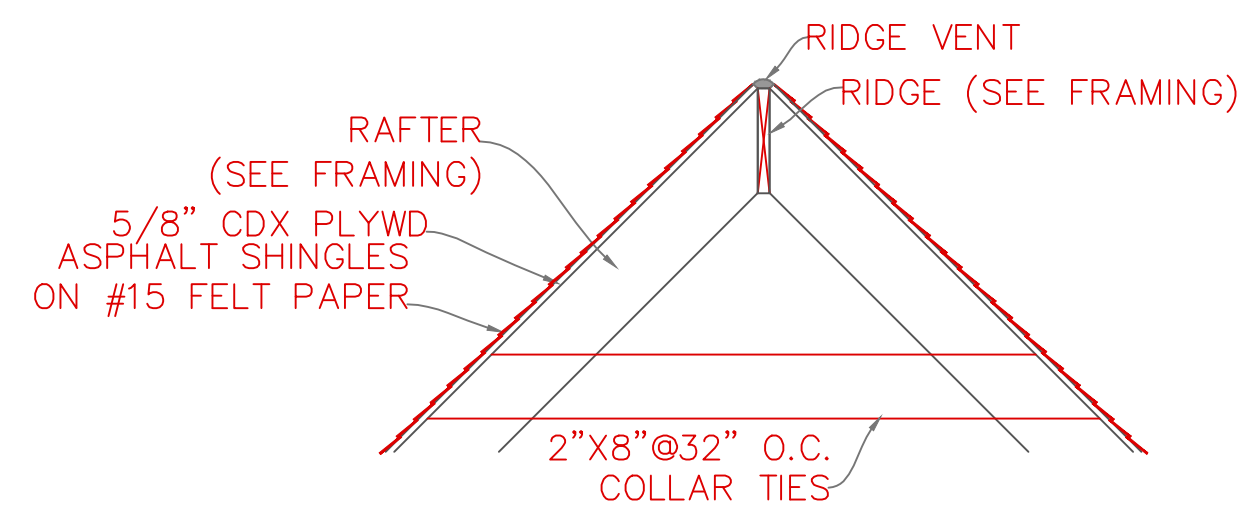
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Sheet 3 OF 5

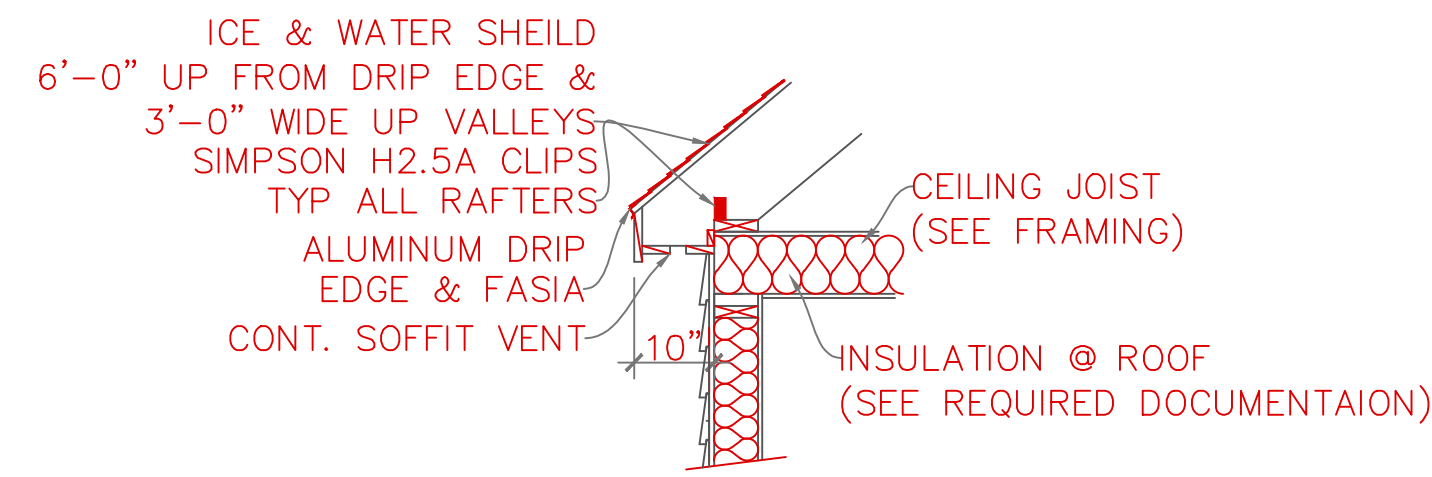
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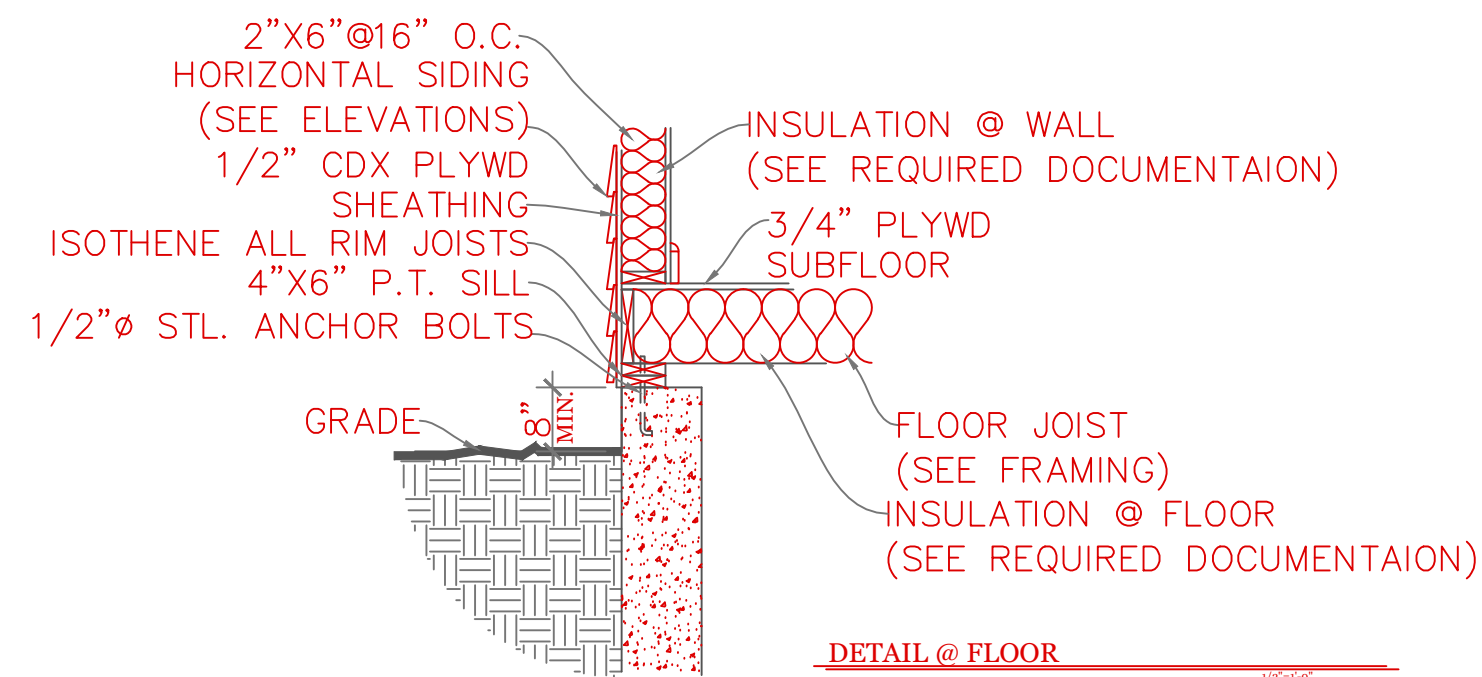
TYPICAL BUILDING SECTION



DETAIL @ RIDGE



DETAIL @ SOFFIT

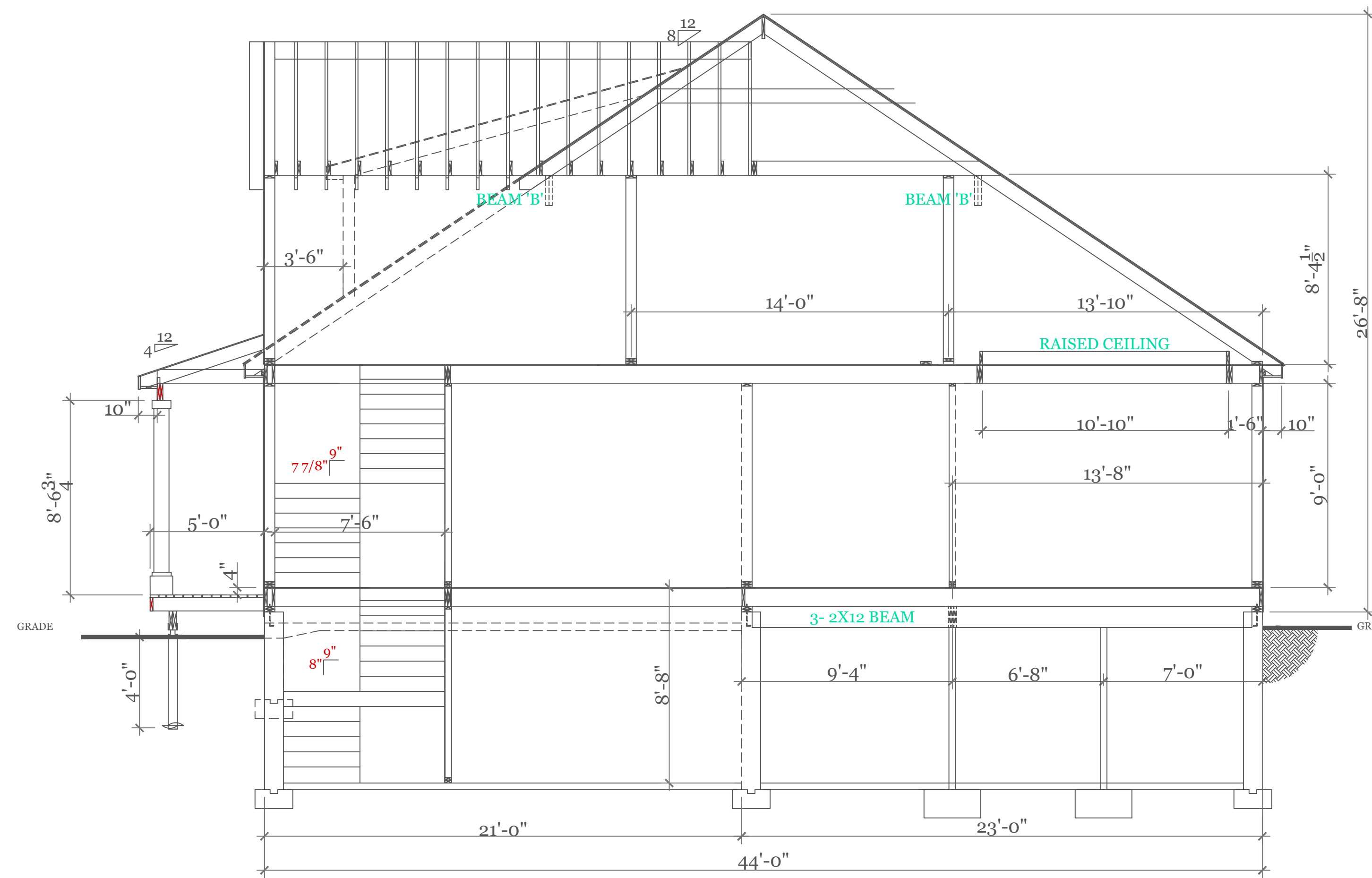


DETAIL @ FLOOR

CONSTRUCTION SCHEDULE:

NO.	DESCRIPTION	DETAIL / REFERENCE
1	RIDGE BOARD:	SEE FRAMING W/ RIDGE VENT
2	ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT
3	ROOF SHEATHING	1/2" O.S.B. w/ 15# ROOF FELT
4	ROOF RAFTER:	SEE FRAMING
5	COLLAR TIES:	1X8 @ 32" O.C.
6	DRIP EDGE	ALUMINUM DRIP EDGE
7	SOFFIT:	CONT. SOFFIT VENT
8	CEILING JOIST	SEE FRAMING
9	ATTIC INSULATION	R-38
10	EXT WALL:	2"X6" @ 16" O.C.
11	EXT. SHEATHING	1/2" O.S.B. w/ HOUSE WRAP
12	EXT. FINISH	SEE ELEVATIONS
13	INSULATION@WALL	R-21
14	INTERIOR WALL	2"X4" @ 16" O.C.
15	SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED
16	JOIST:	SEE FRAMING
17	SILL:	2"X6" P.T. SILL W/ 2X6 KD TOP PLATE
18	INSULATION @ FLOOR	R-30
19	ANCHOR:	1/2" Ø STL ANCHOR BOLTS
20	BEAM:	SEE FRAMING PLAN
21	COLUMN:	3 1/2" L.C.
22	FND. WALL:	10"X7"-10" CONC. WALL
23	SLAB:	SEE FOUNDATION NOTES
24	FOOTING:	20"X10" CONT. KEYED FTNG
25	CONC. PAD:	30"X30"X15" CONC. PAD

NOTES: -ISOETHENE ALL RIM JOISTS (OPTIONAL)
 -ICE & WATER SHEILD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS
 -SIMPSON H2.5A CLIPS TYP ALL RAFTERS



CROSS SECTION

TABLE 402.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^g WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTS 780 CMR 9TH EDITION

For SI: 1 foot = 304.8 mm.

a. R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c. "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.

e. There are no SHGC requirements in the Marine Zone.

f. Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.

g. Or insulation sufficient to fill the framing cavity, R-19 minimum.

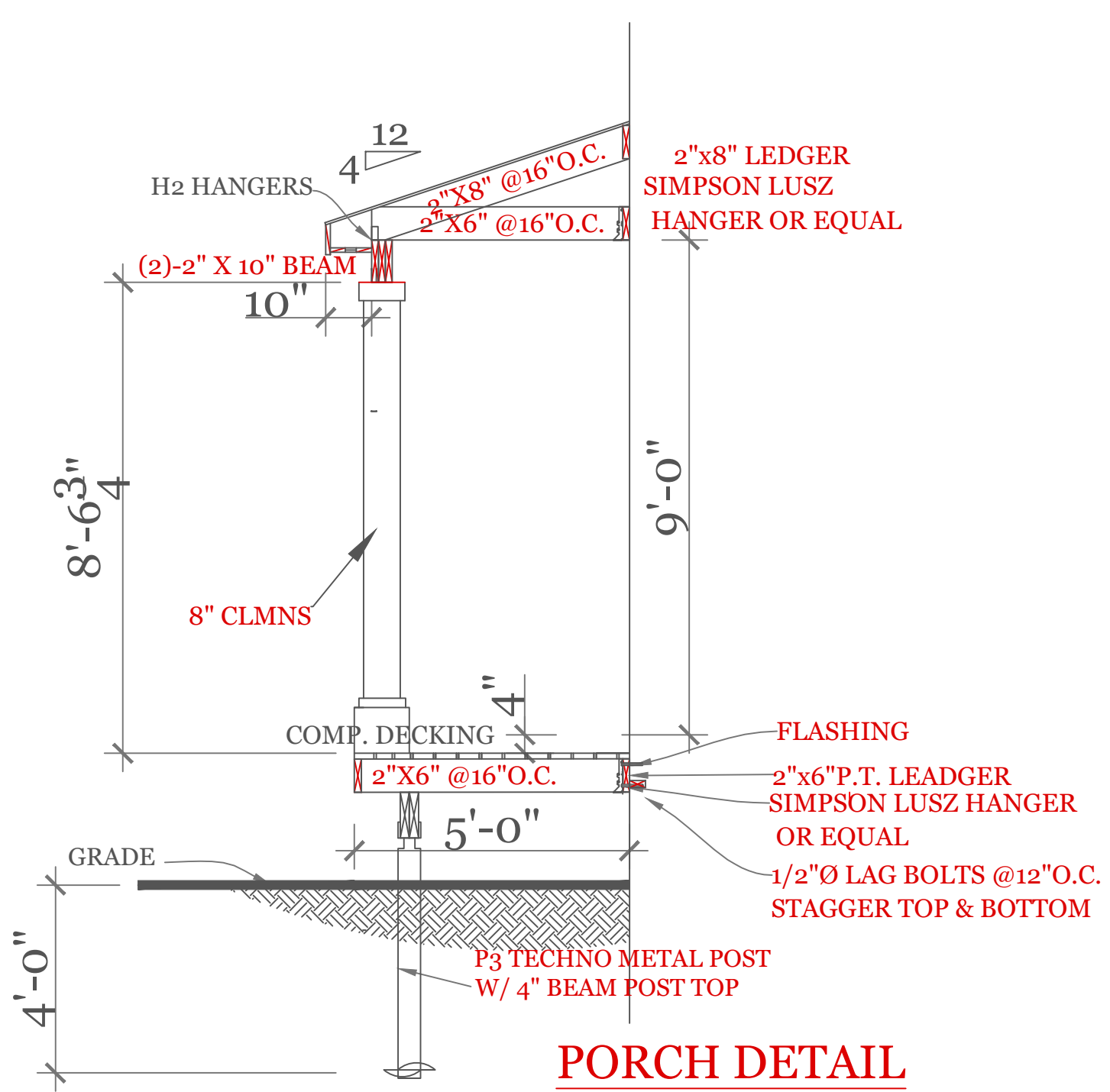
h. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.

i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

j. For impact rated fenestration complying with Section R301.2.1.2 of the International Residential Code or Section 1608.1.2 of the International Building Code, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of protected shallow foundations	Only utilized in the design and construction of protected shallow foundations
50 psf	124 mph	N/A	SEVERE	§5403.1.4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	§5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)



PORCH DETAIL

NOTES:

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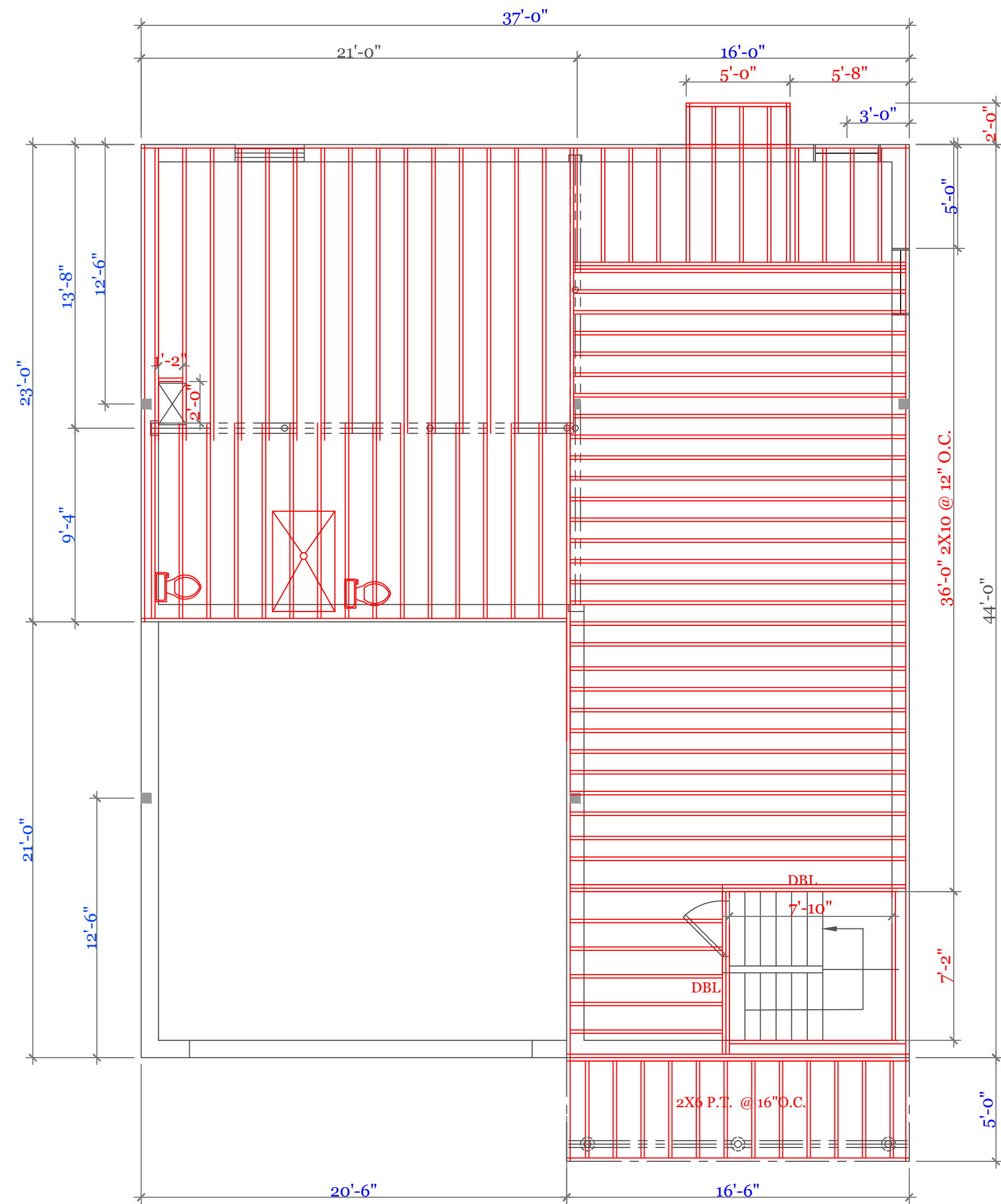
UNIT 'C' 1734 S.F.
 HIGGINS FAM AT
 SALISBURY HILL

BUILDING SECTION
 CODE CRITERIA
 CONSTR. SCHEDULE

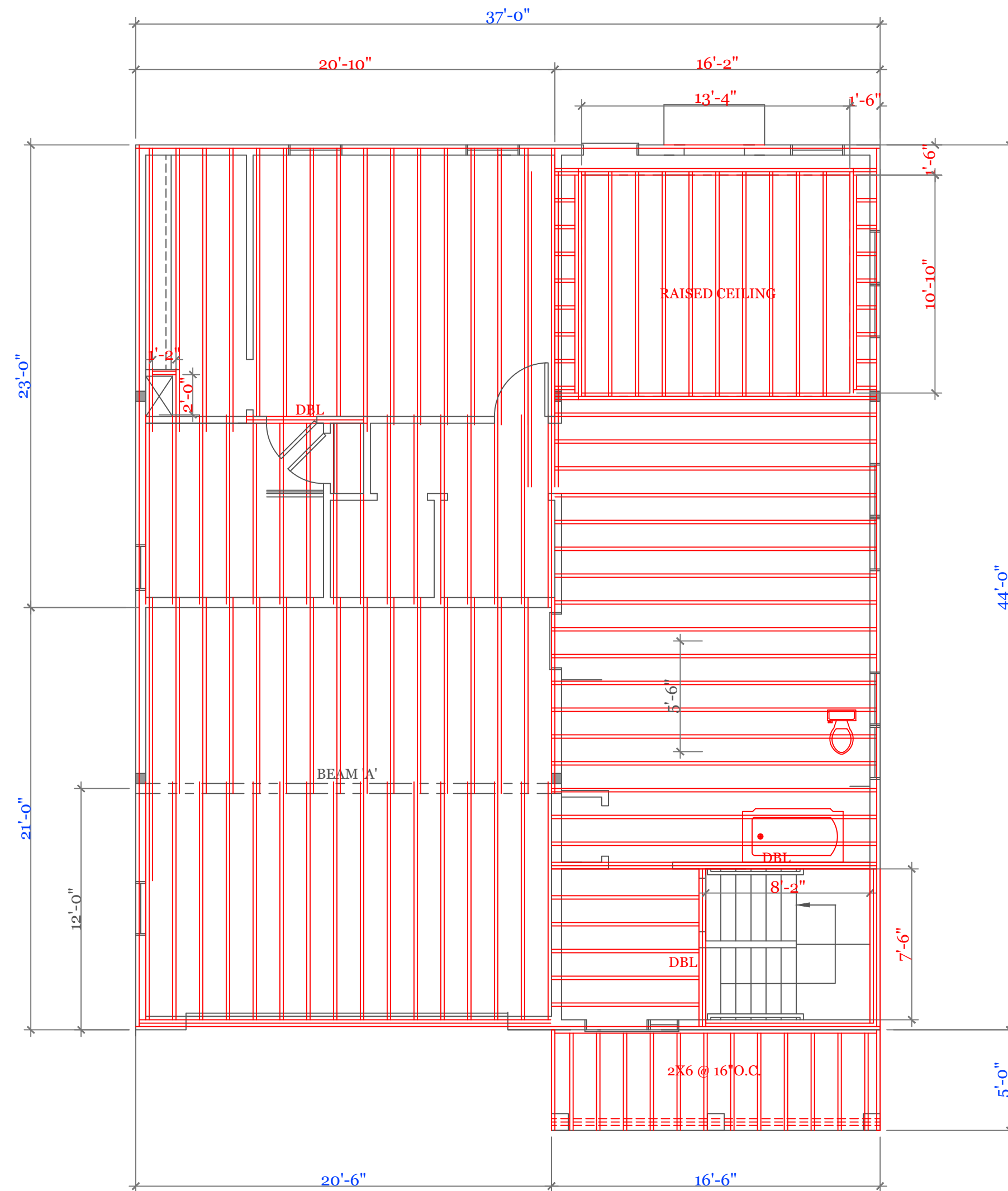
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 SCALE: AS NOTED
 DRAWN BY: RCS
 CHECKED BY: MJB

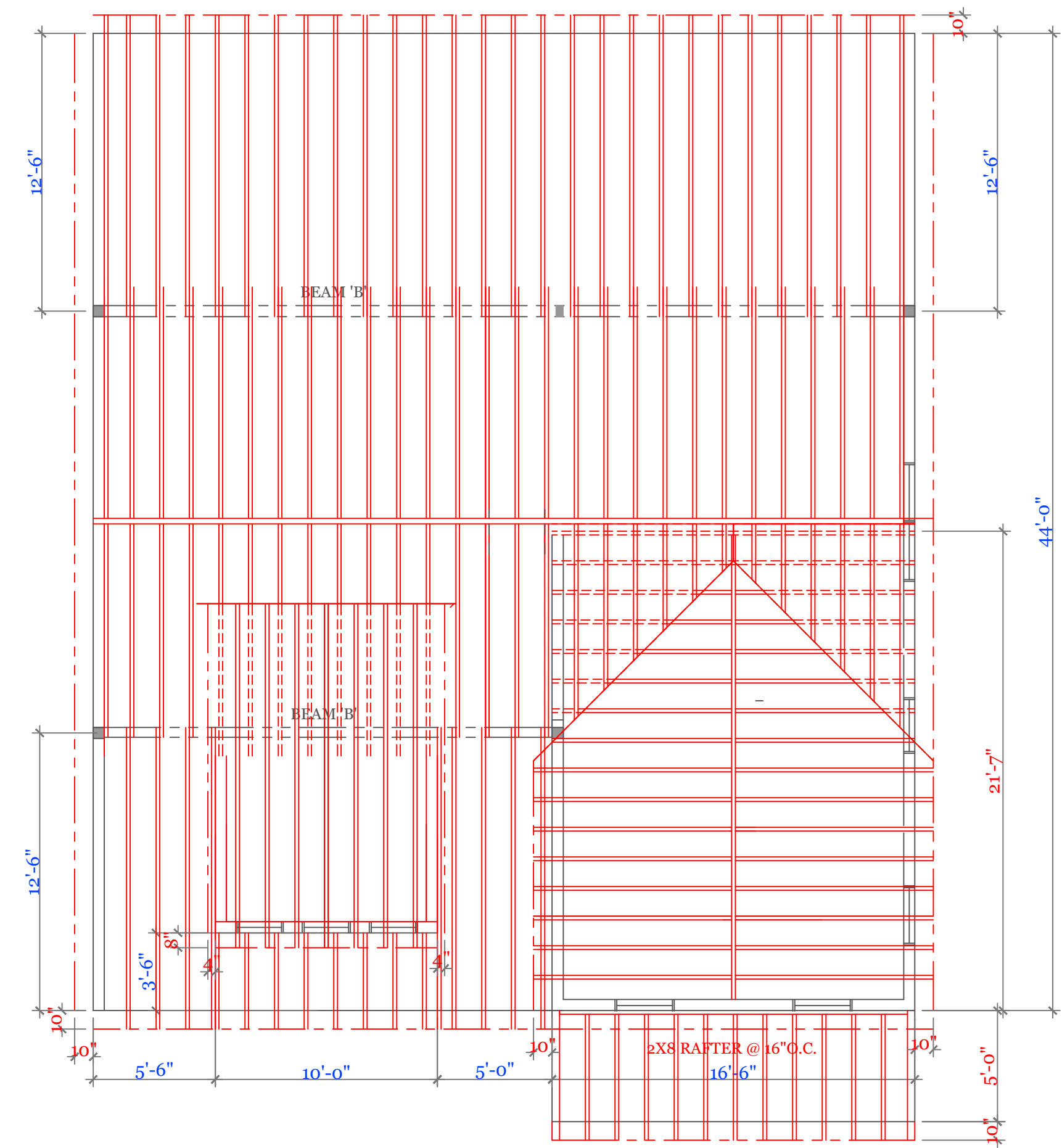
BEAM CALCULATIONS						
BEAM	SIZE	SPAN	LIVE LOAD	TOTAL LOAD	MAX LIVE (PLF)	MAX TOTAL (PLF)
A	5 1/4" X 14" LVL	21'-6"	240	382	334	482
B	5 1/4" X 18" LVL ROOF	21'-6"	---	840	---	1050



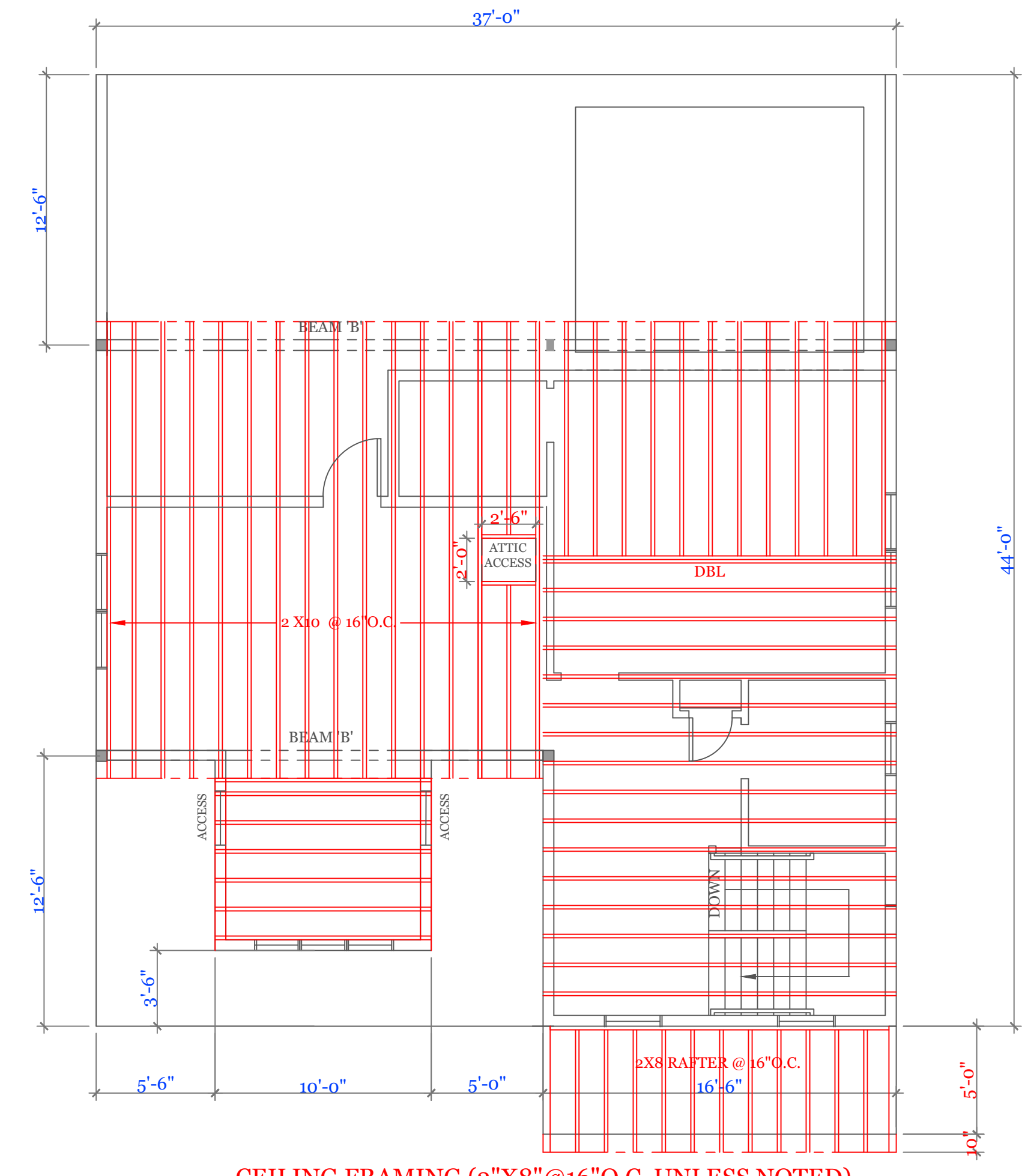
FIRST FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT. 3/16" = 1'-0"



SECOND FLOOR FRAMING (2"X10"@16"O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT. 3/16" = 1'-0"



ROOF FRAMING (2"X8"@16"O.C. UNLESS NOTED)
 ■ BEARING POINTS BLOCKED TO FOUNDATION OR BEAM SUPPORT. 3/16" = 1'-0"

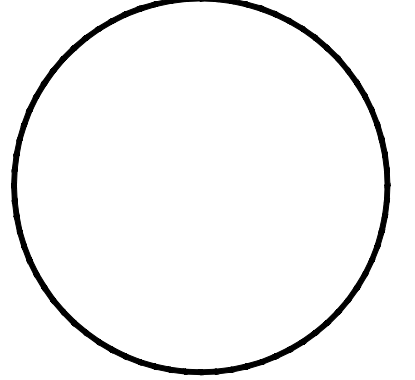


CEILING FRAMING (2"X8"@16"O.C. UNLESS NOTED)
3/16" = 1'-0"

NOTES:

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UNIT 'C' 1734 S.F.
 HIGGINS FARM AT
 SALISBURY GREEN

FRAMING PLANS
 BEAM CALCS

UNIT 'C' GL

DATE: 9/28/2022R5/5/23

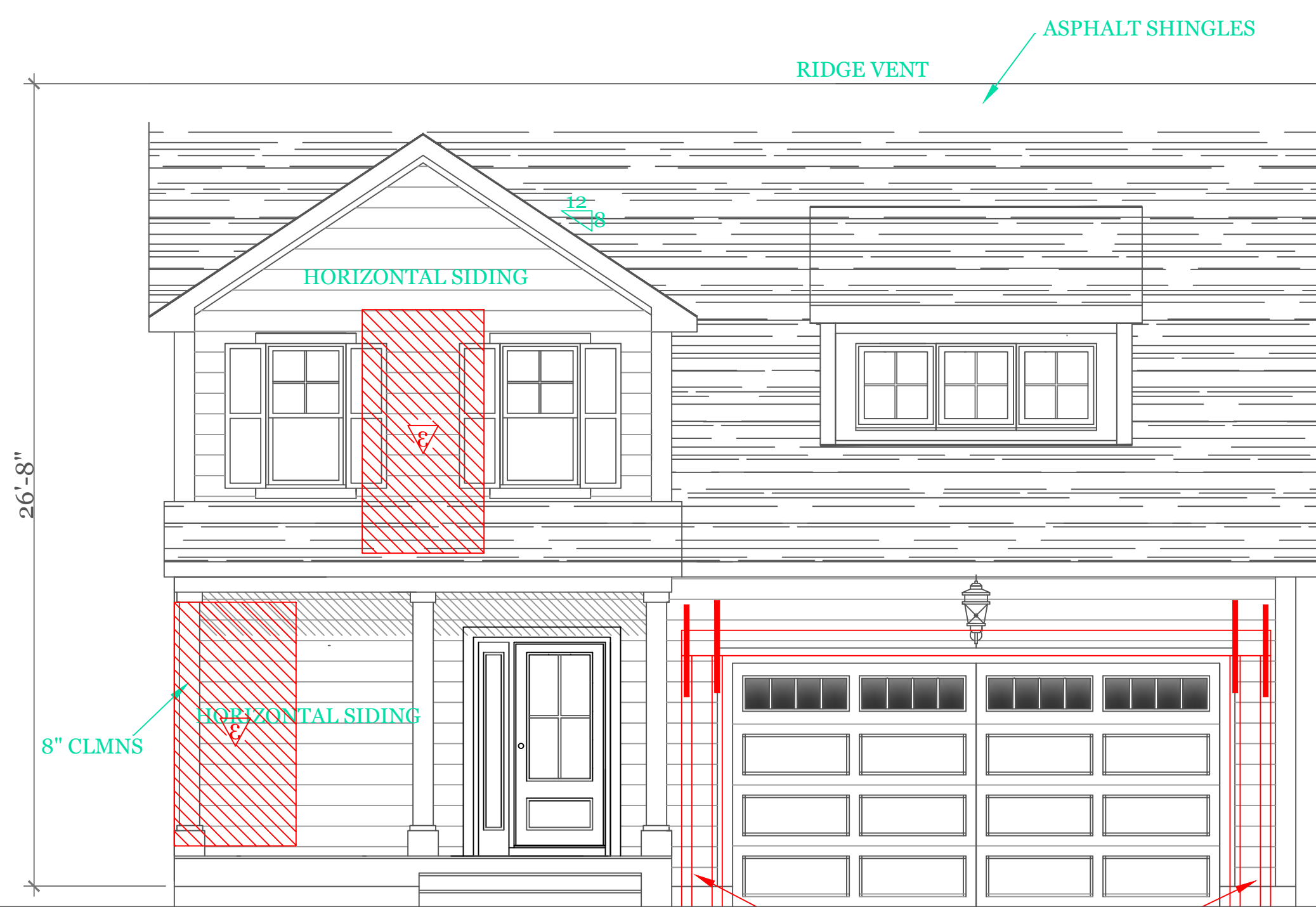
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CHECKED BY: MJB

Sheet 5 OF 5

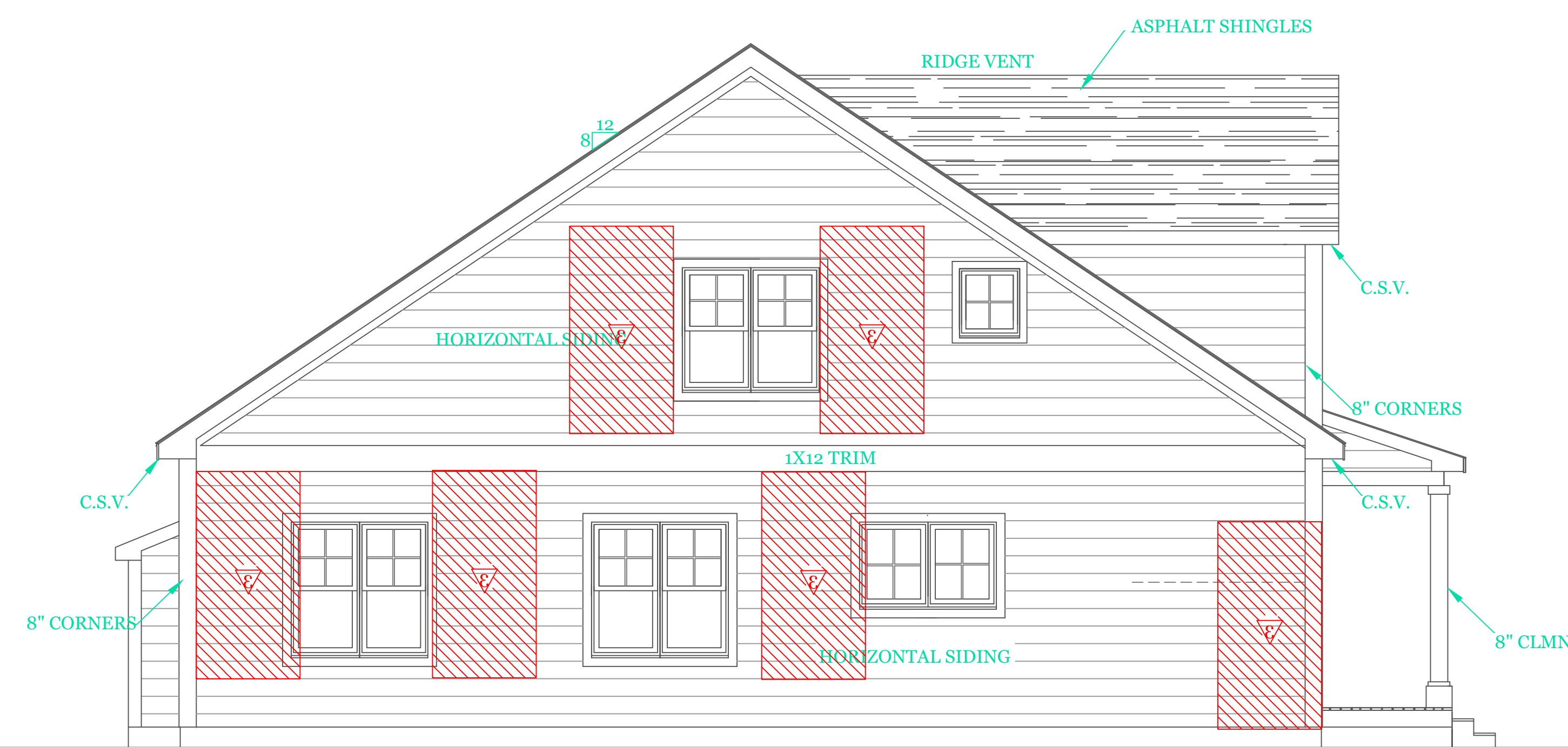
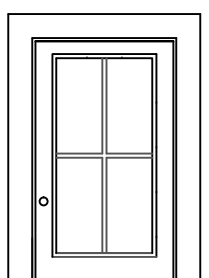
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FRONT ELEVATION (1734 s.f.)

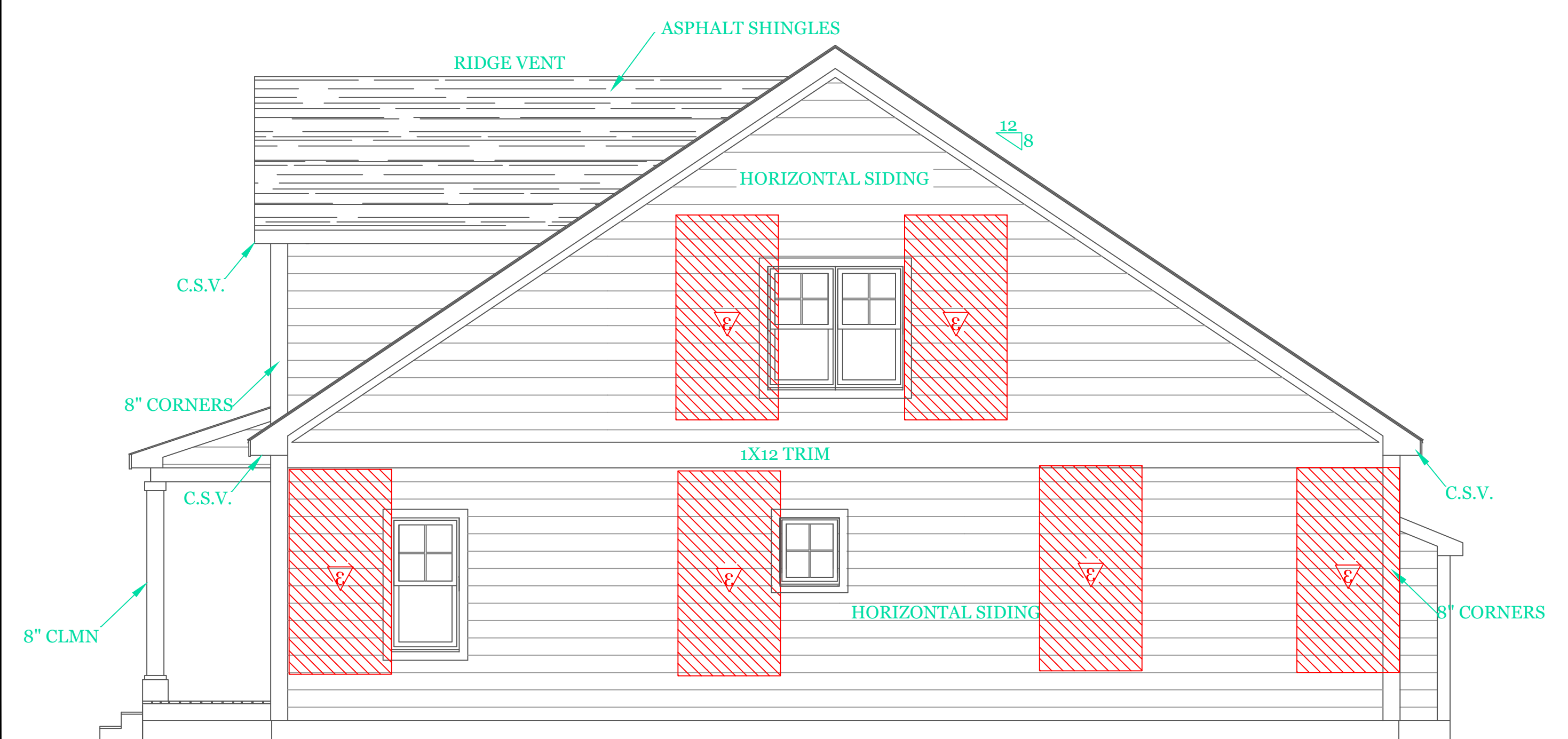
1/4"=1'-0"

WOOD STRUCTURAL PANEL 15/32 CDX PLY WD. SHEATHING ON 16" STUD SPACING PANELS INSTALLED VERTICALLY W/ 6d COMMON NAIL 6" O.C. @ EDGES & 12" O.C. INTERMEDIATE SUPPORTS



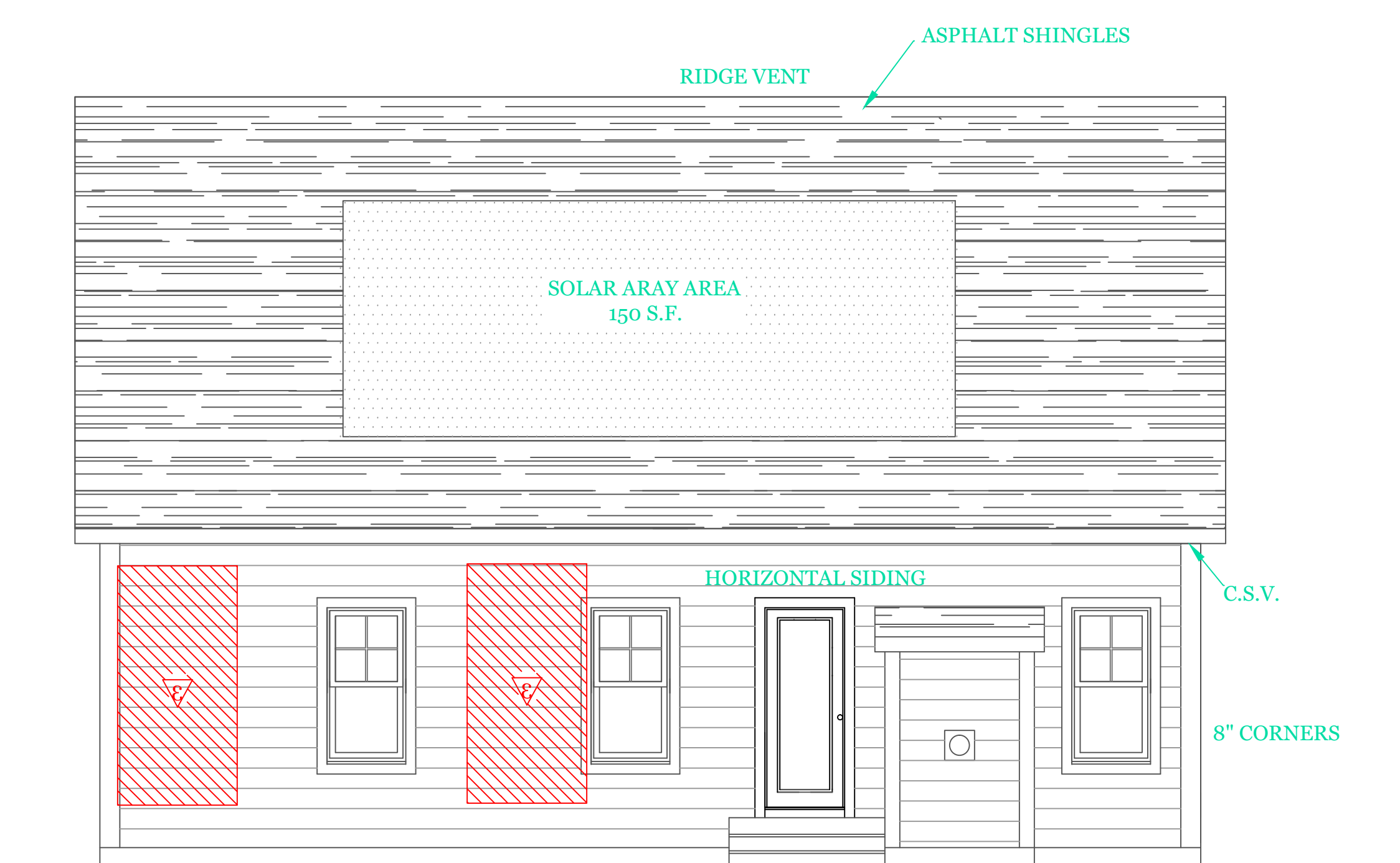
RIGHT SIDE ELEVATION

1/4"=1'-0"



LEFT SIDE ELEVATION

1/4"=1'-0"



REAR ELEVATION

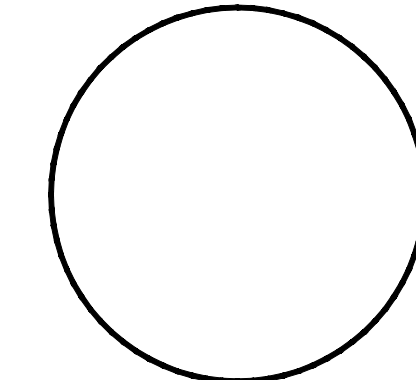
1/4"=1'-0"

NOTES:

- GENERAL NOTES:
1. These plans are drawn as required for construction by an experienced licensed general contractor.
 2. The General contractor shall fully comply with the 9th Edition of the Massachusetts State Building Code, IRC2015 and all additional local requirements.
 3. Written dimensions shall have precedence over scaled dimensions. The general contractor shall verify and is responsible for all dimensions (including rough openings) and conditions on the job and must notify this office of any variations from these drawings. Any defects in the construction documents shall be brought to the attention of this office before proceeding with work. Reasonable time not allowed this office to correct defects shall place the burden of cost and liability from such defects upon the contractor.

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UNIT 'C' 1734 S.F.
 HIGGINS FARM AT
 SALISBURY HILL

ELEVATIONS

UNIT 'C' GR

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

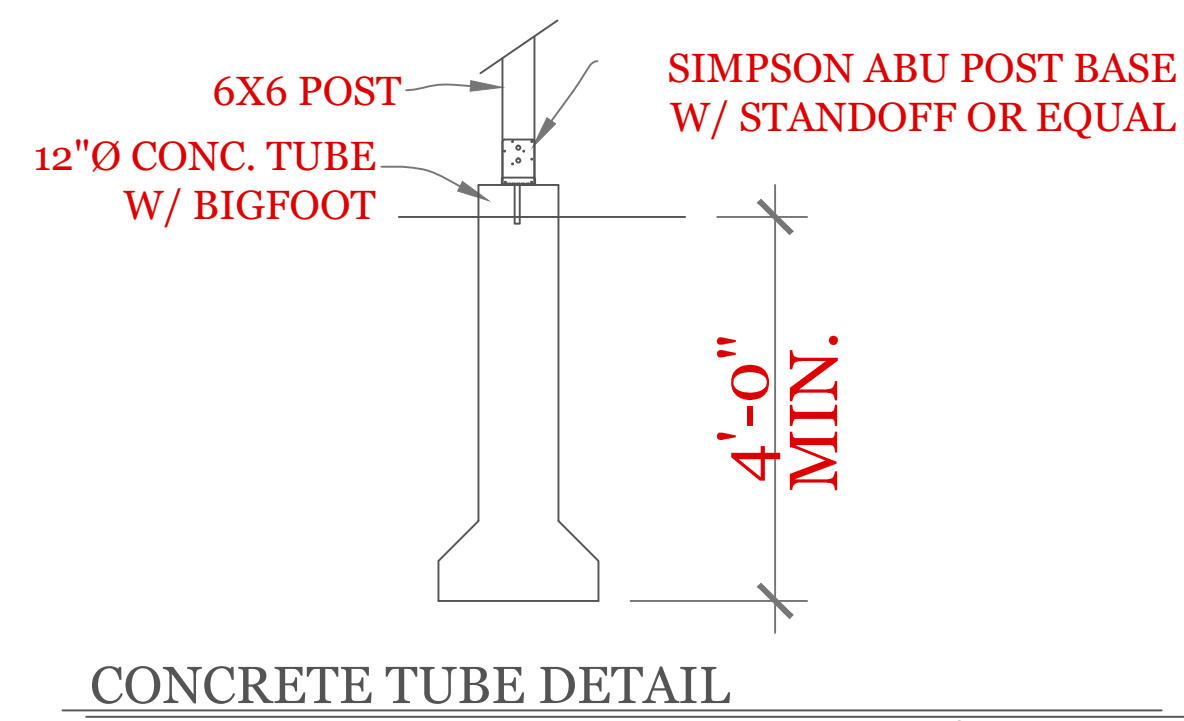
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CHECKED BY: MJB

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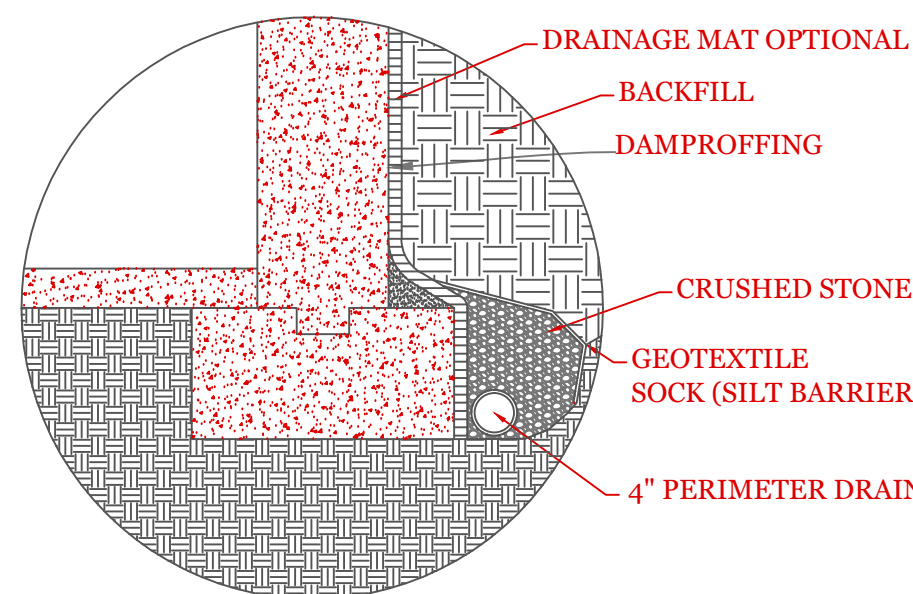
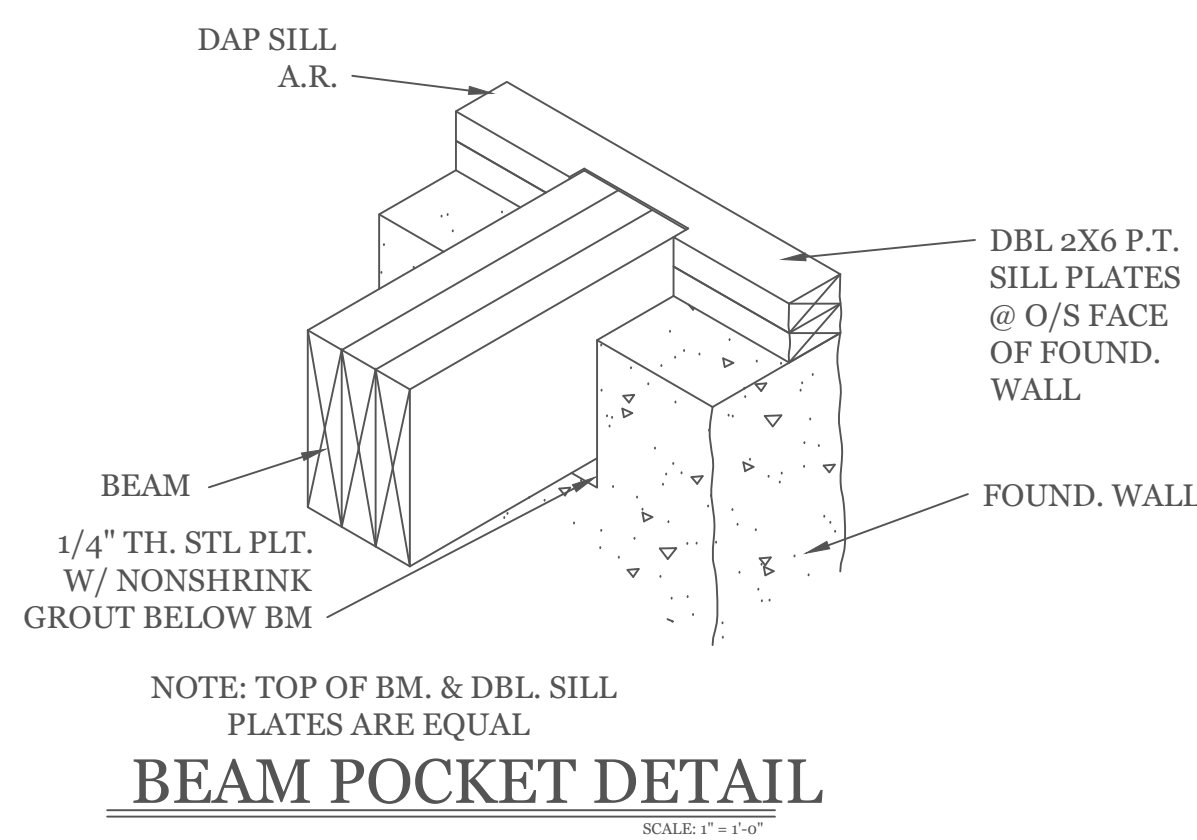
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TYPICAL FOUNDATION DETAILS



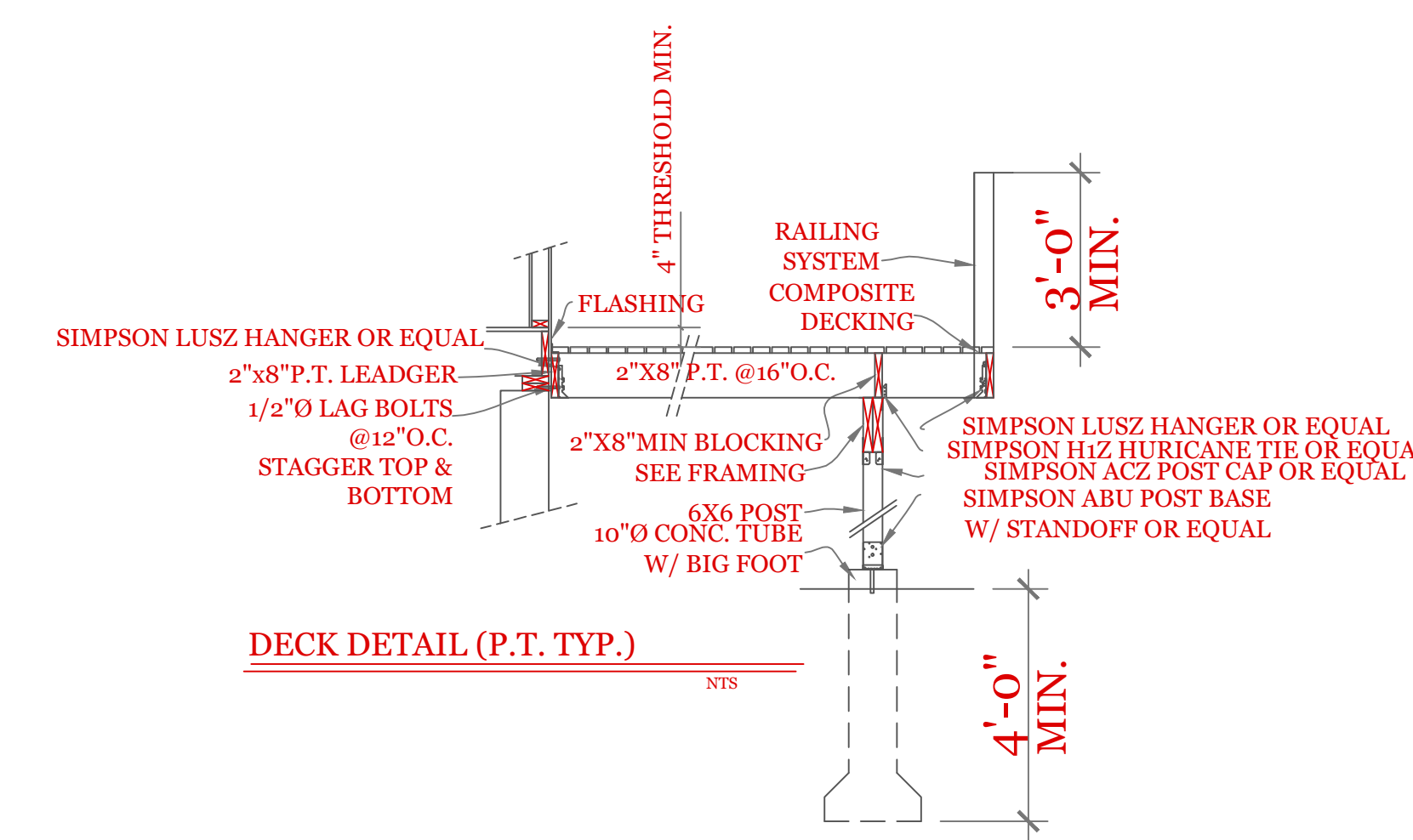
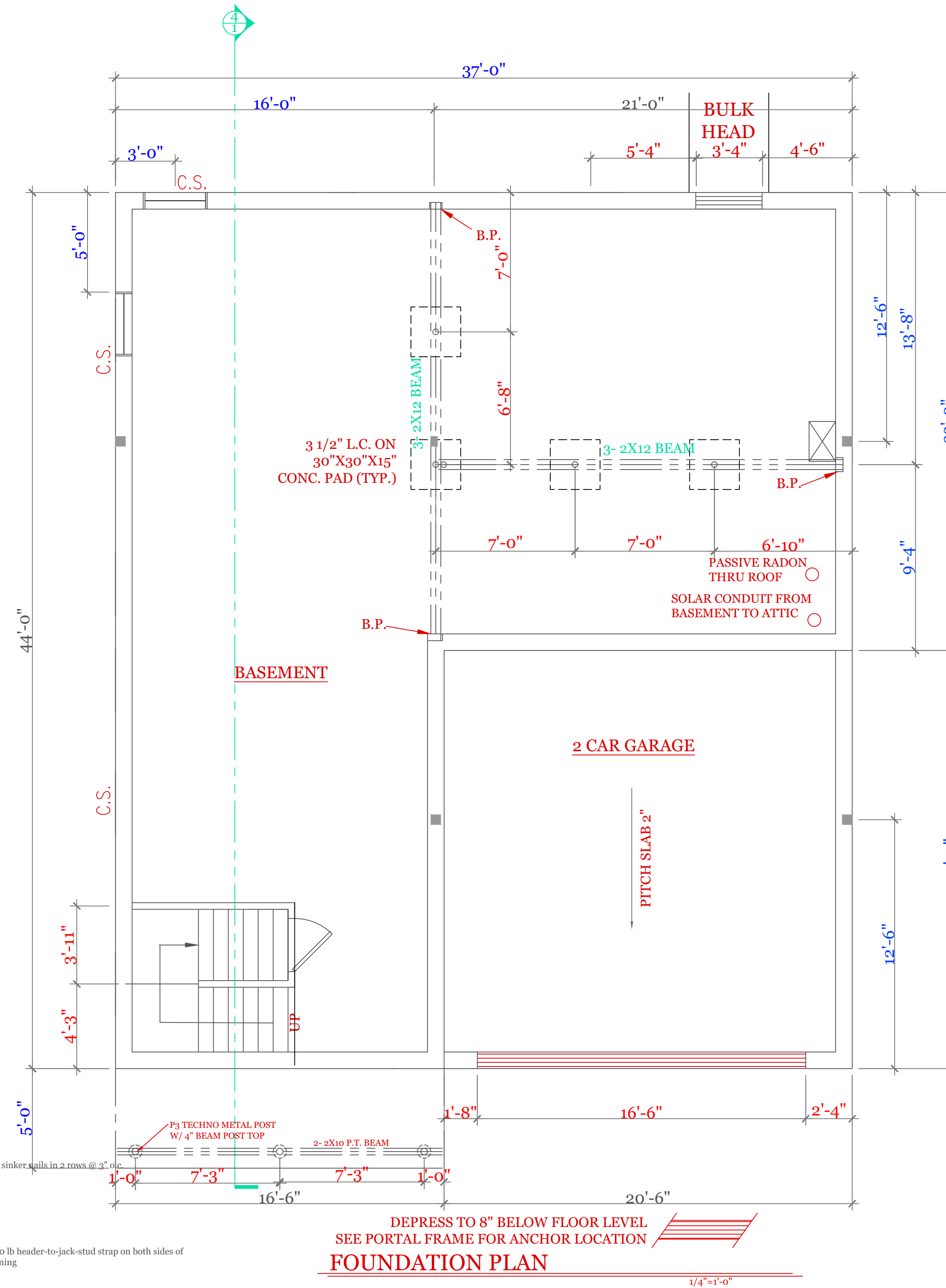
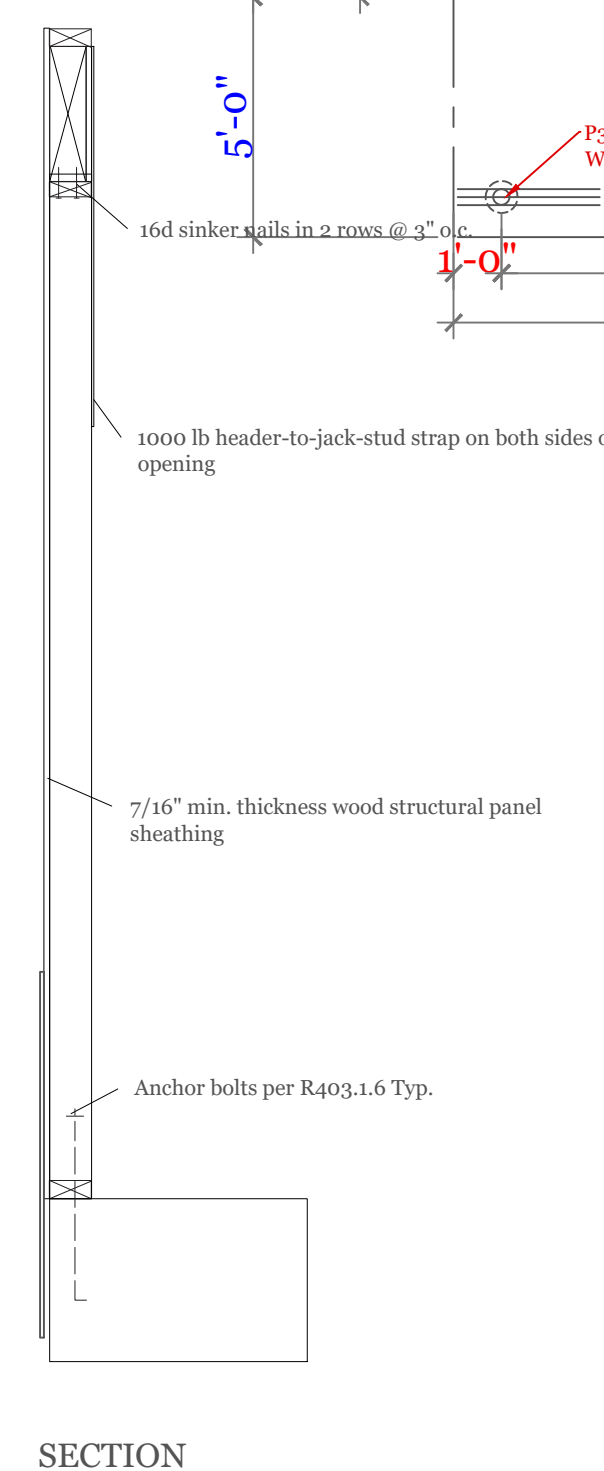
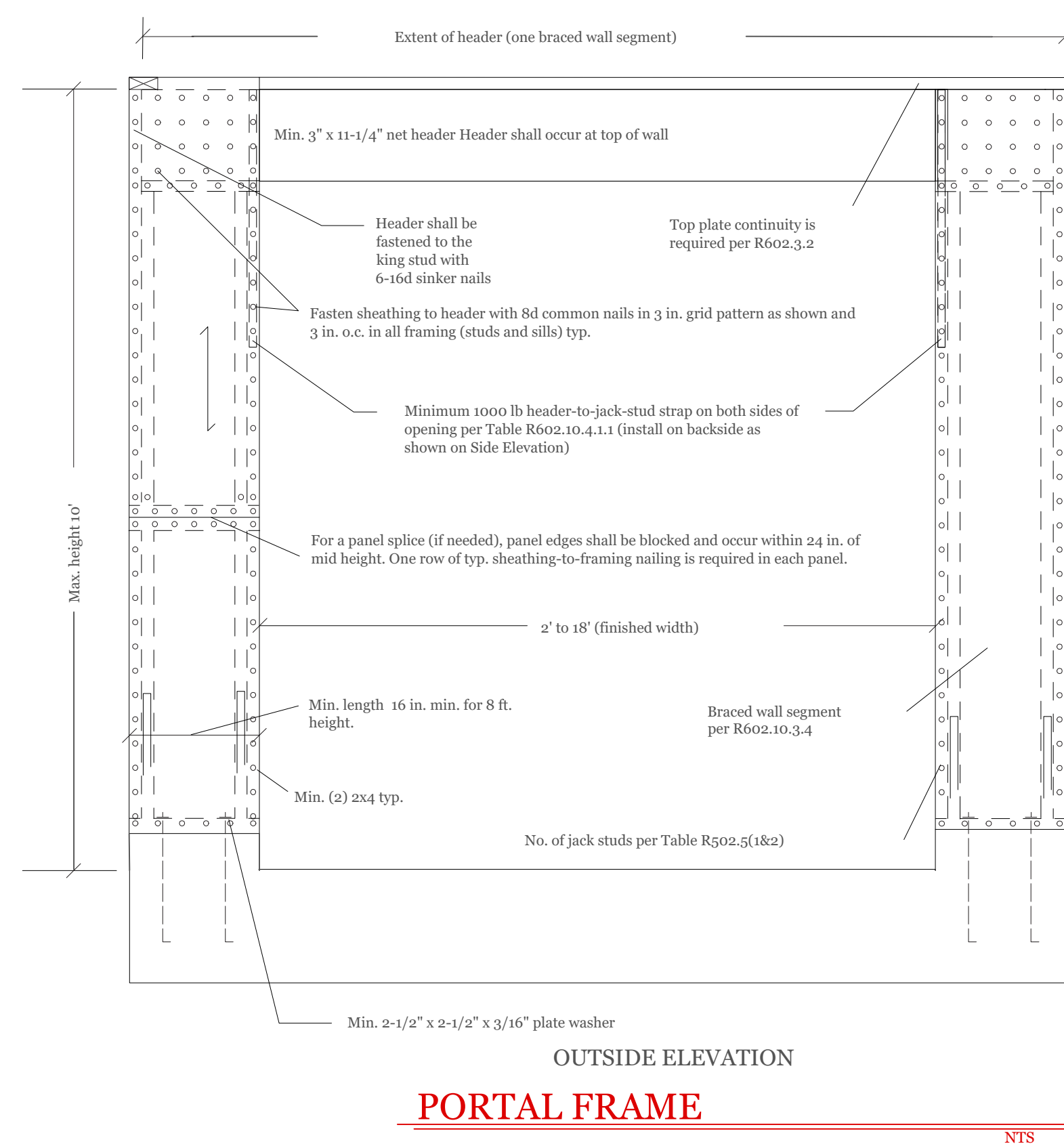
SYMBOL SCHEDULE:

V	VENT
SC	SMOKE AND CARBON DETECTOR
S	SMOKE DETECTOR
H	HEAT DETECTOR
■	BEARING POINT W/ SQUASH BLOCK



GARAGE FLOOR @ O.H.D.

3/8" = 1'-0"



NOTES:

- FOUNDATION NOTES:
- HOUSE FOUNDATION- 10"X7'-10" POUR ON 20"X10" CONTINUOUS KEYPED FOOTING. FOOTING TO BE PLACED ON UNDISTURBED SOIL OR 95% COMPACTED GRAVEL FREE OF ORGANIC SOIL AND MATERIAL.
 - GARAGE FOUNDATION- 8"X4'-0" MINIMUM POUR ON 16"X8" CONTINUOUS KEYPED FOOTING. BOTTOM OF FOOTING TO BE 4'-0" MINIMUM BELOW GRADE. SOIL CONDITION SEE NOTE 1.
 - BASEMENT FLOOR-MINIMUM 4" CONCRETE (3,500 PSI)
 - GARAGE FLOOR-MINIMUM 4" CONCRETE (3,500PSI) WITH WELDED WIRE FABRIC REINFORCEMENT. FLOOR TO PITCH 2" TWARD OVERHEAD GARAGE DOOR
 - ANCHOR BOLTS 12" FROM CORNERS AND 6'-0" ON CENTER.
 - ONE #4 REBAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE #4 BAR NEAR MID-HEIGHT OF THE WALL STORY (TABLE R404.1.2(1) 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE)

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UNIT 'C' 1734 S.F.
HIGGINS FARM AT
SALISBURY HILL

FOUNDATION PLAN
PORTAL FRAME
DETAILS

UNIT 'C' GR

DATE: 9/28/2022 R5/5/23

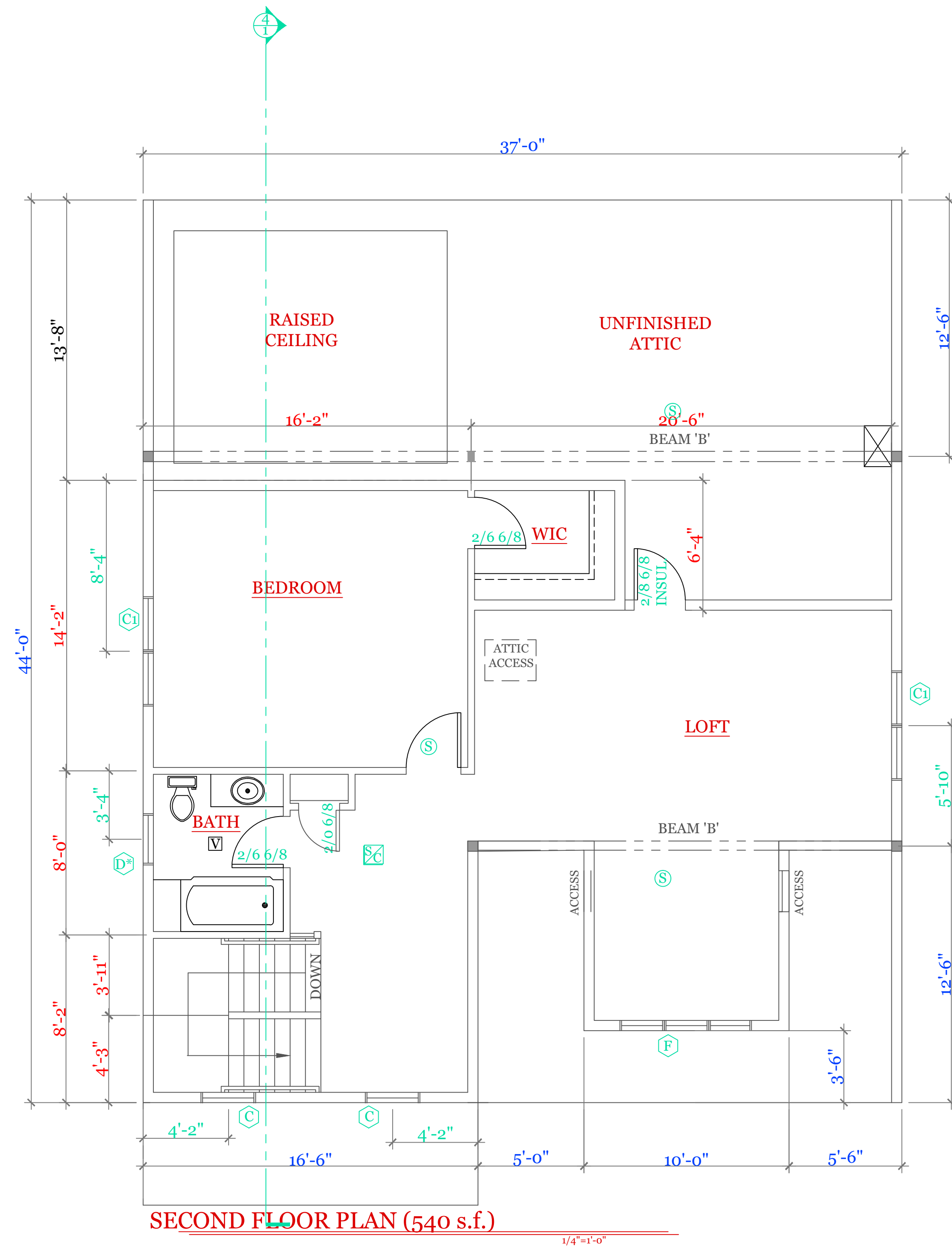
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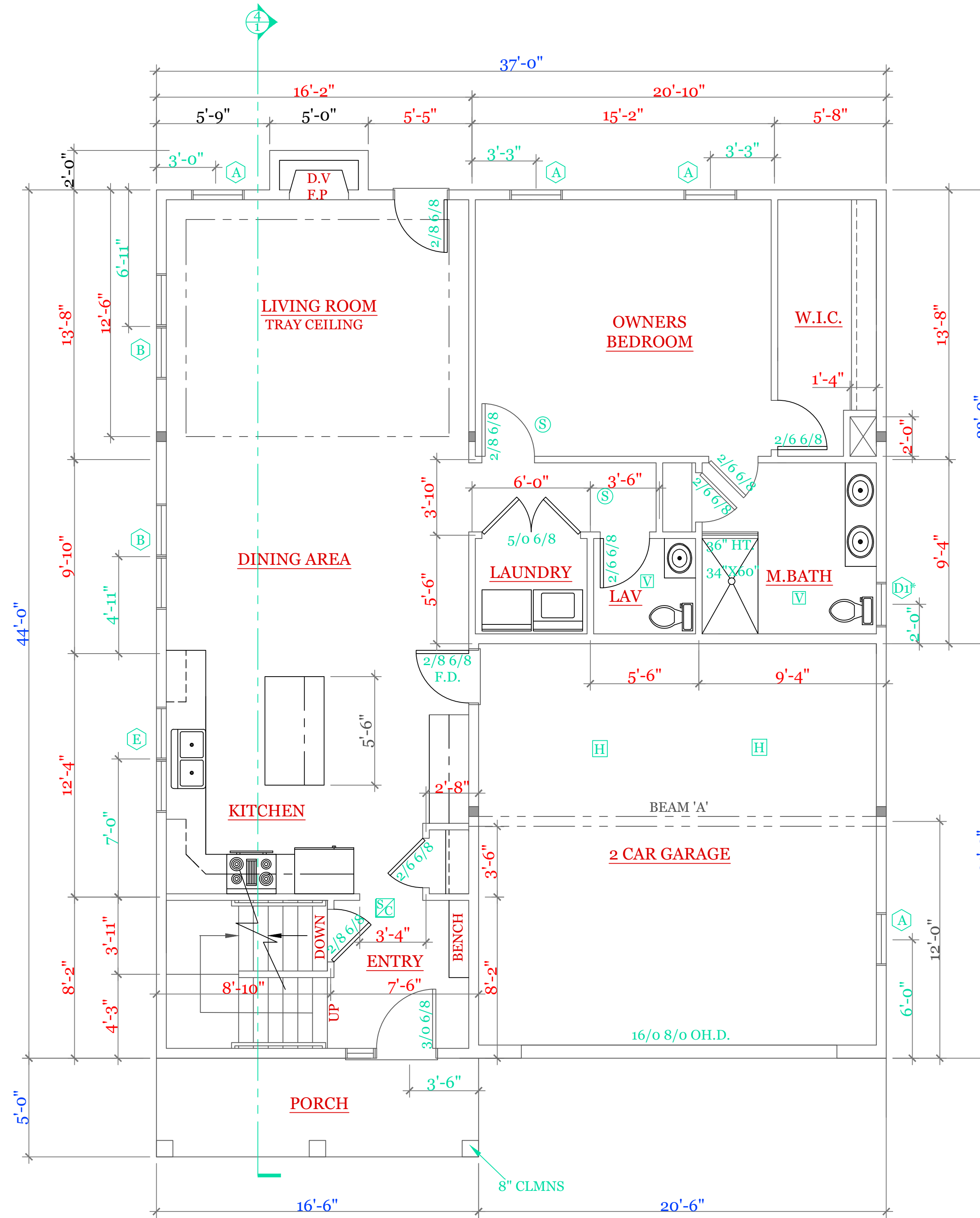
Sheet 2 OF 5

2



SECOND FLOOR PLAN (540 s.f.)

1/4"=1'-0"



FIRST FLOOR PLAN (1194 s.f.) GARAGE (434 s.f.)

1/4"=1'-0"

WINDOW SCHEDULE: HARVEY LANSING			
INDEX	QUA	CATALOG	ROUGH OPENING
A	4	10000-1	2'-8 1/8" X 5'-6"
B	2	11000-1	5'-4 1/2" X 5'-6"
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C1	2	13000-1	5'-4 1/2" X 4'-9"
D*	2	14000-1 TEMPERED	2'-4 3/8" X 2'-8"
E	1	15000-1	4'-0 1/2" X 3'-5 3/8"
F	1	16000-3	7'-9" X 3'-1"
FRONT	1	17000-1	4'-3 3/8" X 6'-10 1/2"
REAR	1	18000-1	3'-2 3/8" X 6'-10 1/2"

NOTES: CONSULT TABLE 603.7(1) JACKS & HEADERS

NOTES:

- SYMBOL SCHEDULE;
- V VENT
 - SC SMOKE AND CARBON DETECTOR
 - S SMOKE DETECTOR
 - H HEAT DETECTOR
 - BEARING POINT W/ SQUASH BLOCK

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UNIT 'C' 1734 S.F.
 HIGGINS FARM AT
 SALISBURY HILL

FIRST & SECOND
 FLOOR PLANS
 WINDOW SCHEDULE

UNIT 'C' GR

DATE: 9/28/2022 R5/5/23

SCALE: 1/4"=1'-0"

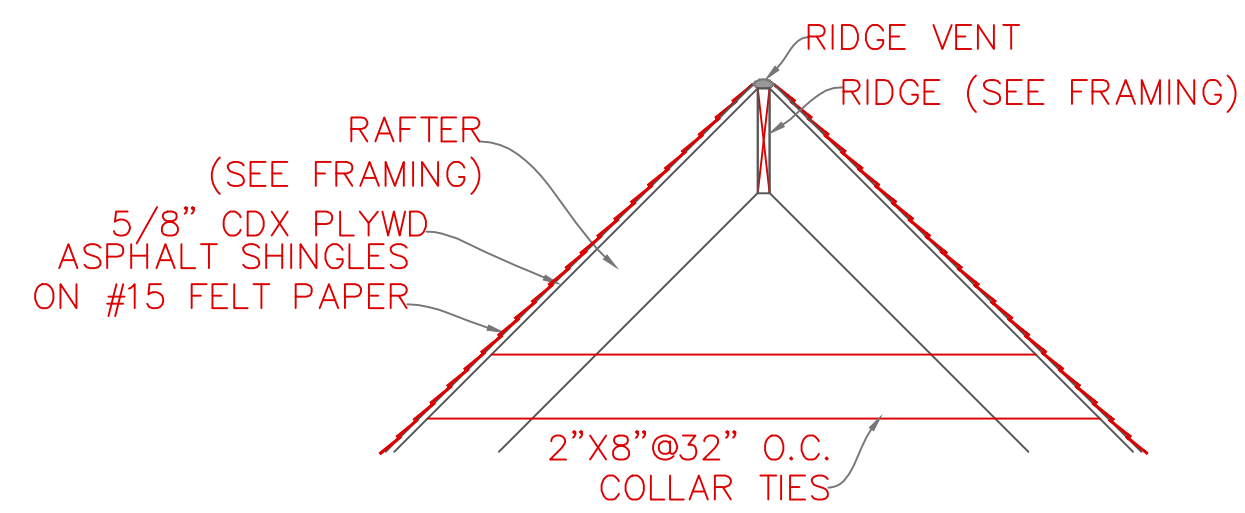
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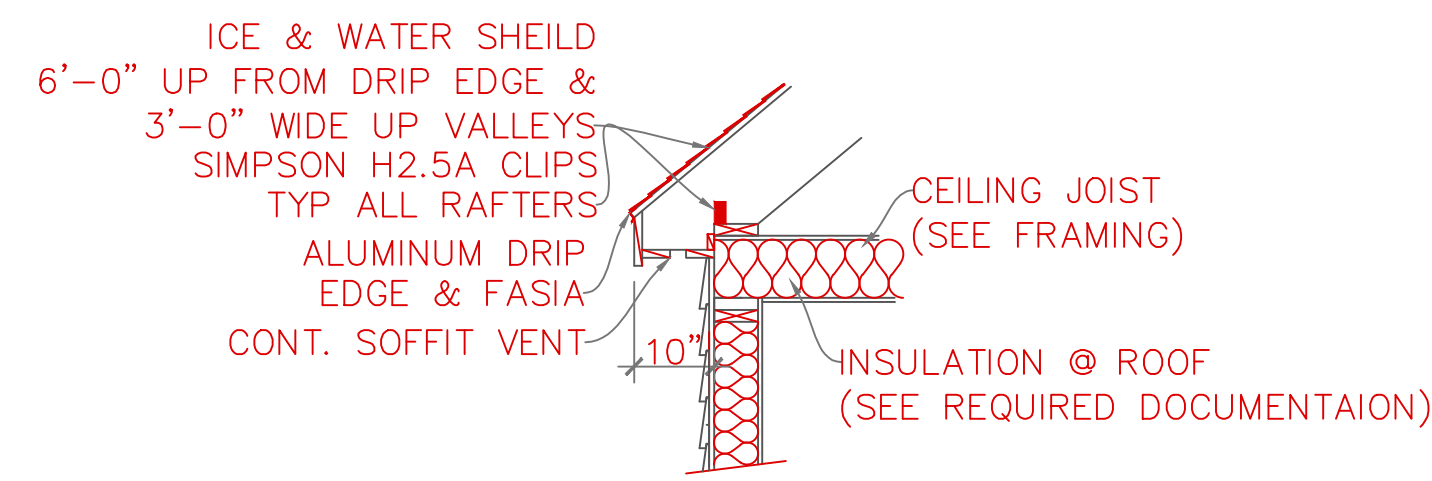
Sheet 3 OF 5

3

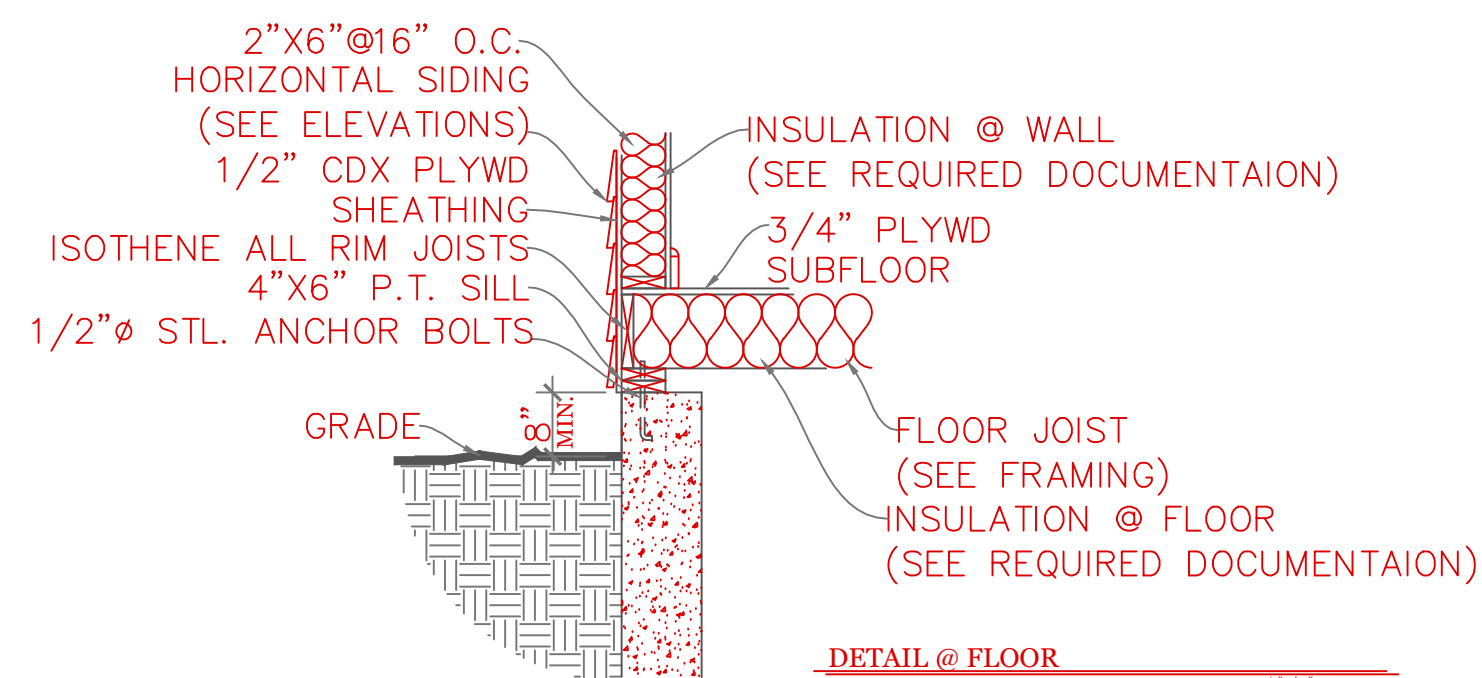
TYPICAL BUILDING SECTION



DETAIL @ RIDGE



DETAIL @ SOFFIT

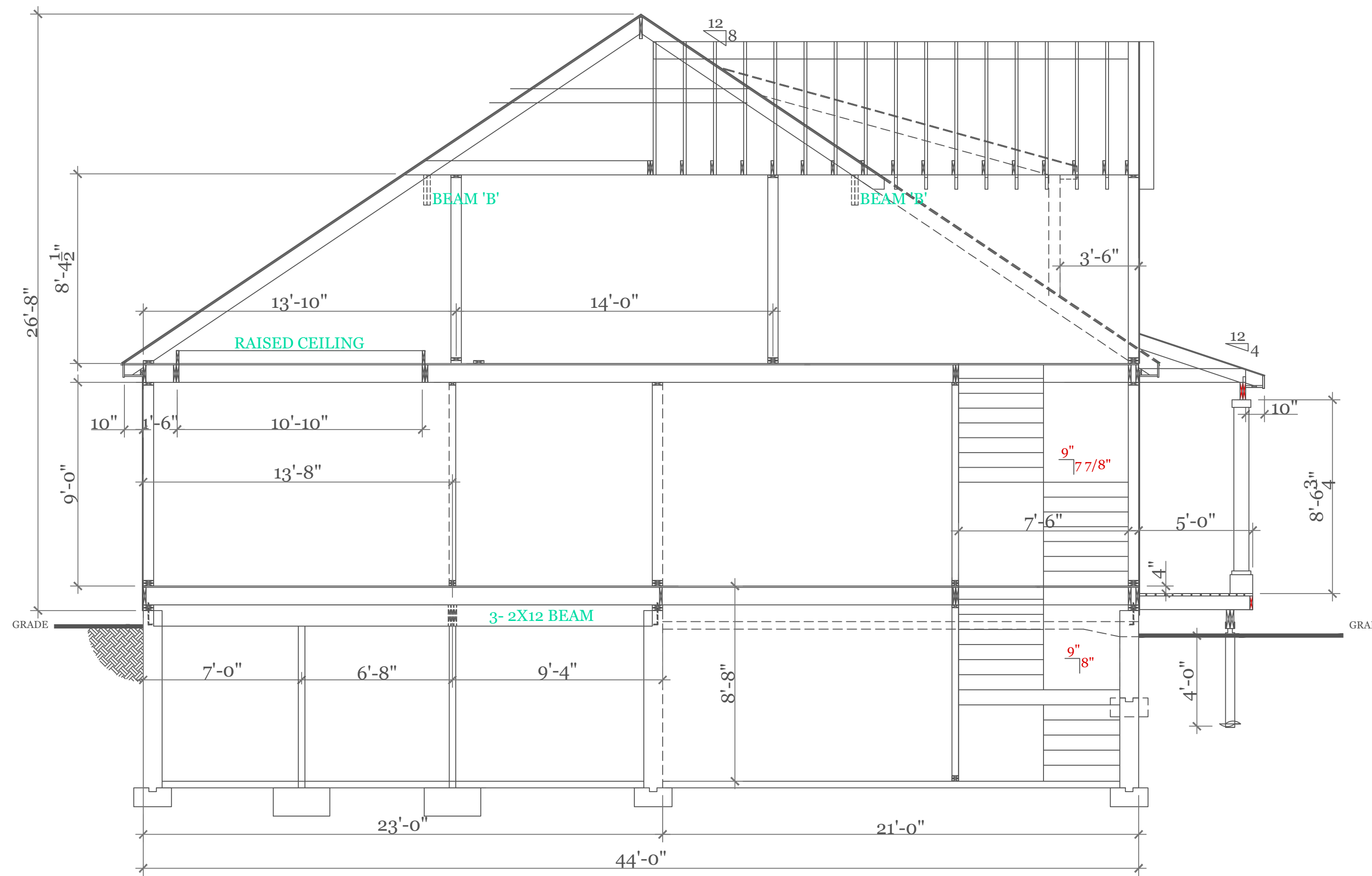


DETAIL @ FLOOR

CONSTRUCTION SCHEDULE:

NO.	DESCRIPTION	DETAIL / REFERENCE
1	RIDGE BOARD:	SEE FRAMING W/ RIDGE VENT
2	ROOF MATERIAL:	ASPHALT SHINGLES ON 15# ROOF FELT
3	ROOF SHEATHING	1/2" O.S.B. w/ 15# ROOF FELT
4	ROOF RAFTER:	SEE FRAMING
5	COLLAR TIES:	1X8 @ 32" O.C.
6	DRIP EDGE	ALUMINUM DRIP EDGE
7	SOFFIT:	CONT. SOFFIT VENT
8	CEILING JOIST	SEE FRAMING
9	ATTIC INSULATION	R-38
10	EXT WALL:	2"X6" @ 16" O.C.
11	EXT. SHEATHING	1/2" O.S.B. w/ HOUSE WRAP
12	EXT. FINISH	SEE ELEVATIONS
13	INSULATION@WALL	R-21
14	INTERIOR WALL	2"X4"@16"O.C.
15	SUB FLOOR:	3/4" ADVANTEK GLUED & NAILED
16	JOIST:	SEE FRAMING.
17	SILL:	2"X6" P.T. SILL W/ 2X6 KD TOP PLATE
18	INSULATION @ FLOOR	R-30
19	ANCHOR:	1/2"Ø STL ANCHOR BOLTS
20	BEAM:	SEE FRAMING PLAN
21	COLUMN:	3 1/2" L.C.
22	FND. WALL:	10"X7"-10" CONC. WALL
23	SLAB:	SEE FOUNDATION NOTES
24	FOOTING:	20"X10" CONT. KEYED FTNG
25	CONC. PAD:	30"X30"X15" CONC. PAD

NOTES: -ISOETHERNE ALL RIM JOISTS (OPTIONAL)
 -ICE & WATER SHIELD 6'-0" UP FROM DRIP EDGE & 3'-0" WIDE UP VALLEYS
 -SIMPSON H2.5A CLIPS TYP ALL RAFTERS



CROSS SECTION

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

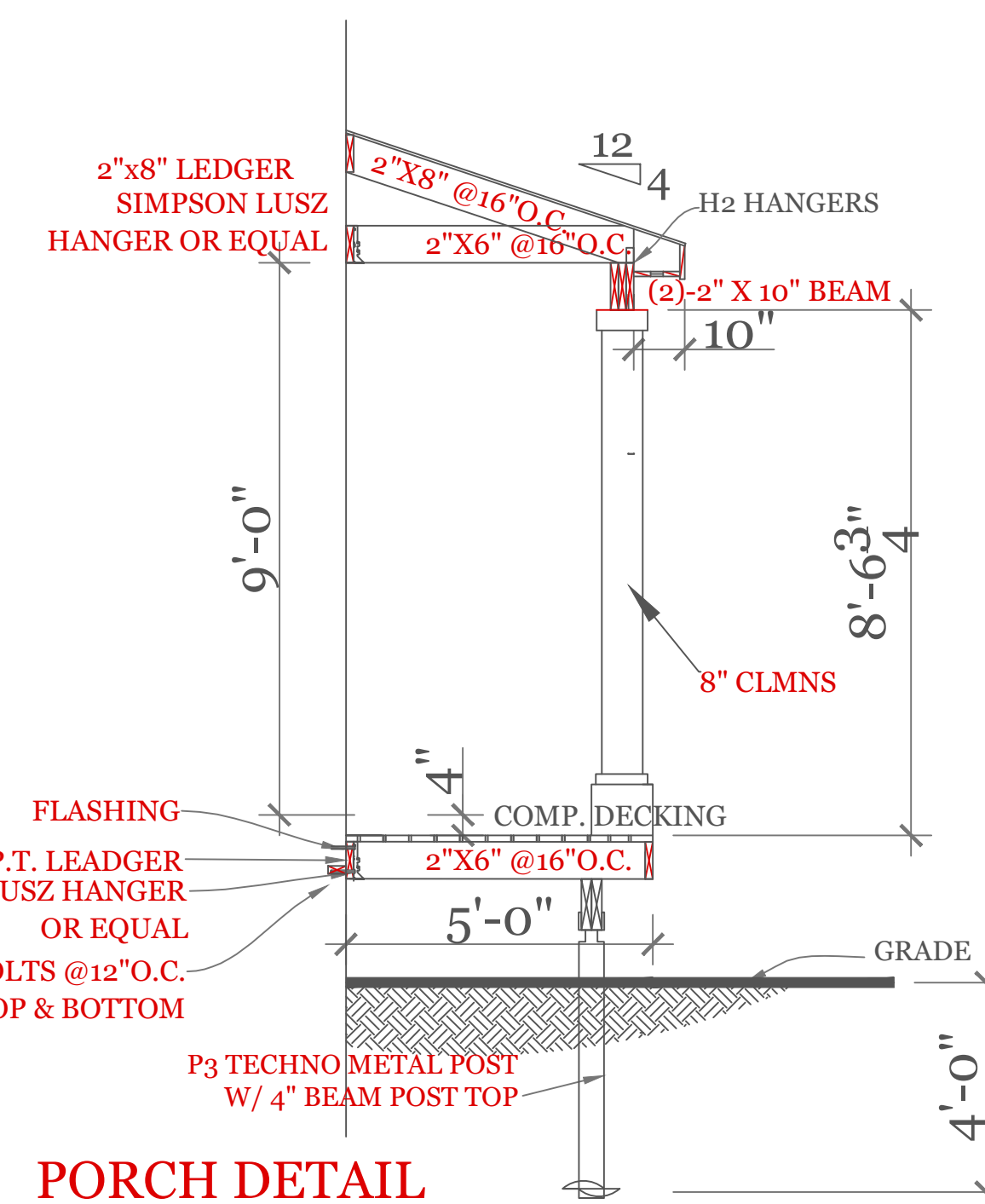
CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30g	15/19	10, 2 ft	15/19

2018 INTERNATIONAL ENERGY CONSERVATION CODE® AND MASSACHUSETTS 780 CMR 9TH EDITION

- For SI: 1 foot = 304.8 mm.
- R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2 x 6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.
 - The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 - "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulated sheathing on the interior or exterior of the home. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
 - R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
 - There are no SHGC requirements in the Marine Zone.
 - Basement wall insulation is not required in warm-humid locations as defined by Figure 301.1 and Table 301.1.
 - Or insulation sufficient to fill the framing cavity, R-19 minimum.
 - "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
 - The second R-value applies when more than half the insulation is on the interior of the mass wall.
 - For impact rated fenestration complying with Section R301.2.1.2 of the International Residential Code or Section 1608.1.2 of the International Building Code, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
TABLE 5301.2(5)	TABLE 5301.2.(4)	N/A	FIGURE 5301.2(3)	4 ft. minimum unless engineered data shows otherwise	FIGURE 5301.2(6)	FIGURE 5301.2(7)	APPENDIX 780 CMR 120.J TABLE 120.J.3.2.1	As required by the exterior roof covering manufacturer; roof pitch and local climate must also be considered	Refer to applicable Flood Insurance Rate Map (FIRM)	Only utilized in the design and construction of frost protected shallow foundations	Only utilized in the design and construction of frost protected shallow foundations
50 psf	124 mph	N/A	SEVERE	§5403.1-4	MODERATE TO HEAVY	SLIGHT TO MODERATE	N/A	§5905.0	FIRM MAPS	SEE NOTE J TABLE 5301.2(1)	SEE NOTE K TABLE 5301.2(1)



PORCH DETAIL

NOTES:

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UNIT 'C' 1734 S.F.
 HIGGINS FAM AT
 SALISBURY HILL

BUILDING SECTION
 CODE CRITERIA
 CONSTR. SCHEDULE

UNIT 'C' GR

DATE: 9/28/2022 R5/5/23

SCALE: AS NOTED

DRAWN BY: RCS

CHECKED BY: MJB

Sheet 4 OF 5

4

